Campbell County Fiscal Court

Invitation to Bid

I. Bid Information Bid Posted 11/7/2022 to County Website

A. Bid Request: Animal Services Addition

B. Department: Facilities - Animal Services

C. Bid opening: 11/23/2022 at 10AM Eastern

D. Location of Open: Campbell County Administration Building, Fiscal Court Chambers, 1st Floor, 1098 Monmouth Street, Newport, KY 41071

E. Bidder Information:

Bidders Name _____

Signature _____

Firm/Company _____

Firm/Co. Address _____

Firm/Co. Phone _____

Firm/Co. Email _____

II. Instructions to Bidders – Terms and Conditions

The Campbell County Fiscal Court will accept bids for construction of an addition to our Animal Services facility until November 23rd, 2022 at 10AM Eastern.

SITE VISIT AVAILABILTY FOR CONTRACTORS AND SUB CONTRACTORS

1989 POPLAR RIDGE ROAD MELBOURNE, KY

Nov 14th 10AM till Noon

Nov 16th 1PM till 3PM

SITE VISIT MANDATORY TO BID PROJECT

Authority

1. This Invitation for Bids is issued in accordance with applicable provisions of the Campbell County Administrative Code Chapter 4 Purchasing and Contracts.
2. This is not an order. Please read all instructions, terms, and conditions carefully.

A. Transmission

1. Bids should be submitted in a sealed envelope addressed to Campbell County Finance, 1098 Monmouth Street, Suite 322, Newport, KY 41071.
2. The envelope must be clearly marked with the bid title, **"ANIMAL SERVICES ADDITION SEALED BID"**.
3. Bids will be received at the CCFC Finance department Suite 322 until the date specified.
4. Late bids, those not clearly marked, or those that do not follow the instructions will not be accepted.
5. Campbell County Fiscal Court will not be held responsible for any premature opening or failure to open any bid not properly addressed and identified as stated above.

B. Instructions

1. Bid forms must be signed in blue ink.
2. One original and one copy of the bid must be submitted. Keep a copy of the bid for your records.
3. A list of qualifications and a minimum of three references are required. Please refer to Section VII.
4. Bidders should verify their bids before submission. Errors in preparing the submission confers no right of withdrawal or modification after open.
5. Bidders are responsible for all costs associated with the preparation of response to the invitation for bids. Campbell County is not liable for any costs incurred by bidders in their response to this request.

C. Pricing

1. Firm prices are required.
2. All prices quoted must be F.O.B. destination shown in shipping instructions on specification.
3. Insert time discounts, if any. Time discounts will not be a factor in award determination.
4. Quotations must be submitted on the bid price sheet indicating unit price, total extension of each item, and grand total of bid.
5. Unit prices should be based on the bid specification instructions. Please direct questions to the County at 859-547-1825 prior to submitting a bid.
6. Trade discounts must be deducted by the vendor in calculating the unit price. The unit price must be net.
7. CCFC is KY sales and use tax exempt.

D. Warranty

The selected Bidder shall provide warranty on any services and materials found to be defective or faulty due to imperfect or bad workmanship/materials within one year from the date of completion at no additional cost to the County. This warranty does not change or void any warranties expressed or implied to which the purchase is subject.

E. Regulatory Compliance

1. Pursuant to the provisions of KRS 45A.343, the contractor or vendor is required to reveal to Campbell County Fiscal Court any final determination of a violation of KRS Chapters 136, 139, 141, 337, 338 and 342 by the contractor or vendor within the previous five (5) years; and further that said contractor or vendor has been and is in continuous compliance with the provisions of KRS Chapters 136, 139, 141, 337, 341, and 342 for the duration of the

contract. The failure of a contractor or vendor to reveal a final determination of a violation to a local government, or to comply with the statutory requirements, is considered grounds for cancellation of a contract and disqualification of the contractor or vendor from eligibility for any Campbell County Fiscal Court contracts for a period of two (2) years.

2. All bidders must possess all federal, state, and local qualifications licenses to provide products or services in Campbell County, the Commonwealth of Kentucky, and the United States.
   a. Including, but not limited to
      i. Business license issued by the Occupational License Department of Campbell County (see attached application)
      ii. Hazardous Communication Program (OSHA)
      iii. Workers' Compensation Certificate
      iv. Liability Insurance

3. Successful bidder shall comply with the Kentucky Human Rights Act, HRA 344.150-344.270 as amended and any rules and regulations promulgated therewith, including, but not limited to the Equal Employment Opportunity EEO 45.550 – 45.640 which is incorporated herein by reference. Furthermore, the successful bidder shall comply with the Employment Discrimination Act, EDA 344.040, 344.050 as amended.
4. This is an acknowledgement that federal financial assistance may be used to fund all or a portion of the contract if awarded. The contractor will be expected to comply with all applicable federal law, regulations, executive orders, policies, procedures, and directives.
   a. The federal government is not a party to this contract and is not subject to any obligations or liabilities to the non-Federal entity (County), contractor, or any other party pertaining to any matter resulting from the contract.
   b. The contractor acknowledges that 31 U.S.C. Chap. 38 (Administrative Remedies for False Claims and Statements) applies to the contractor's actions pertaining to this contract.
   c. The contractor must agree to register as an entity on SAM.gov (System for Federal Awards Management).

F. Bonds

1. Bid bonds, performance bonds, and payment bonds as prescribed by KRS 45A.430, 435, 440 are required for any bids/proposals that exceed $99,999. Each bid, or the combination of submitted bids, over $99,999 must be accompanied by a 5% bid bond of the grand total of the bid. The bid bond of the successful bidder will be retained until a performance bond has been executed and approved, after which the bid bond will be returned. The successful bidder will be required to post a performance bond in the amount of 100% of the bid if awarded a contract over $99,999. Bonding and surety requirements may vary by project/commodity. Please contact Owner for more information.

G. Reserved Rights

1. Campbell County Fiscal Court reserves the right to reject any or all bids, including without limitations the right to reject any or all nonconforming, non-responsive, incomplete, unbalanced, or conditional bids, to waive formalities, and to reject the bid of any Bidder if CCFC believes that it would not be in the best interest of Campbell County Fiscal Court to make an award to that Bidder. CCFC also reserves the right to negotiate with the apparent qualified Bidder to such an extent as may be determined by Campbell County Fiscal Court.

2. CCFC reserves the right of renewal for any service and maintenance contracts that may be needed for a minimum of two (2) one (1) year periods.
3. In the event the successful bidder fails to commence substantial work on the project within thirty (30) days and the County does not waive this requirement, the County shall have the option to reject the bid and to void the contract, and in such event to either accept the next lowest and best bidder or to negotiate with the best qualified bidder
4. In the event the successful bidder fails to complete the project by the completion date and the County has not waived this requirement in writing, the County shall receive from the bidder (or withhold from the bidder, at its option) liquidated damages of 1% per project per calendar day.
5. All the terms and conditions of these instructions to bidders and the specifications for this project shall constitute, the part of, and incorporate into, the contract between the County and the successful bidder.

H. Award

It is the intent of Campbell County Fiscal Court to award a contract to the lowest responsible bidder meeting specifications. CCFC reserves the right to determine the lowest responsible bid/offer in any way determined to be in the best interests of Campbell County. Award will be based on the following factors (where applicable): (a) adherence to all conditions and requirements of the bid/proposal specifications; (b) price; (c) qualifications of the bidder, including past performance, financial responsibility, general reputation, experience, service capabilities, and facilities; (d) delivery or completion date; (e) product appearance, workmanship, finish, taste, feel, overall quality, and results of product testing; (f) maintenance costs and warranty provisions; and (g) repurchase or residual value.

III. Bid Specifications

- **Please reference PCA drawings included in this bid document**
- **Job will be completed in 2 phases.**
  - **Phase 1 will be the new addition**
  - **Phase 2 will be inside the existing building**
- **Downspouts must be piped underground.**
- **Shingles must be dimensional high def 30 yr warranty.**
- **Existing HVAC heat pump can be relocated to other side of building.**
- **All potential subcontractors related to this project must be listed in the form below.**

Questions about the bidding process or the bid forms may be directed to:

Joey Cucchiara, jcucchiara@campbellcountyky.gov, 859-547-1825

Questions about project specifications or the site visit may be directed to:

Mike Braun, MBraun@campbellcountyky.gov, 859-547-1845

Subcontractor List

1. Concrete _____
2. Electrical _____
3. HVAC _____
4. Roofing _____
5. Plumbing _____
6. Doors/Frames _____
7. Masonry _____
8. All others _____

Date of site visit _____

IV. Bid Form

Animal Services Addition
Campbell County Fiscal Court

1098 Monmouth Street, Newport, KY 41071

Bidders Name _____

Signature _____

Firm/Co Company _____

Firm/Co address _____

Firm/Co Address_____

Firm/Co Phone_____

Firm/Co email _____

Foundation/slab/sitework	_____
Masonry	_____
Plumbing	_____
Electric	_____
HVAC	_____
Roofing	_____
Painting	_____
Insulation	_____
General Conditions	_____

Total cost _____

Alternate price for HVAC, including electric, for Unit Room 111 _____

V. Authentication of Bid and Affidavit of Non-collusion and Non-conflict of Interest

I hereby swear (or affirm) under the penalty for false swearing as provided by KRS 432.170: That I am the bidder (if the bidder is an individual, a partner (if the bidder is a partnership) or an officer or employee of the bidding corporation having authority to sign on its behalf (if the bidder is a corporation);

That the attached bid or bids covering Campbell County Fiscal Court, has been arrived at by the bidder independently and have been submitted without collusion with, and without any agreement, understanding or planned common course of action with any other vendor or materials, supplies, equipment or services described in the invitation to bid, designed to limit independent bidding or competition;

That the contents of the bid or bids have not been communicated by the bidder or its employees or agents to any person not an employee or agent of the bidder or its surety on any bond furnished with the bid or bids and will not be communicated to any such person prior to the official opening of the bid or bids;

That the bidder is legally entitled to enter into the contracts with the Campbell County Fiscal Court and is not in violation of any prohibited conflict of interest, including those prohibited by the provisions of KRS 164.390, 16.092, 61,096 and 42.990; and

(Applicable to corporations only) That as a foreign corporation we are registered with the Secretary of State, Commonwealth of Kentucky, and authorized to do business in the State _____or,
That as a domestic corporation we are in good standing with the Secretary of State, Commonwealth of Kentucky _____. (Check the statement applicable.

That I have fully informed myself regarding the accuracy of the statements made in this affidavit.

NOTICE

Any agreement of collusion among bidders or prospective bidders which restrains, tend to restrain, or is reasonably calculated to restrain completion by agreement to bid at a fixed price, or to refrain from bidding or otherwise, is prohibited. The provision of KRS 355.080 and 305.000 which permit the regulation of resale price by contract do not apply to sales to the State, no sales to Local Governments.

Any person who violates any provisions of Kentucky Revised Statue 42.076 shall be guilty of a felony and shall be punished by a fine not less than five thousand dollars nor more than ten thousand dollars, or be imprisoned not less than one year no more than five years, or both such fine and imprisonment. Any firm,
Corporation or association which violates any of the provision of KRS 42.076 shall, upon conviction, be fined not less than ten thousand dollars no more than twenty thousand dollars.

In submitting this bid on the Bid Price Sheet, it is expressly agreed that upon proper acceptance by the Campbell County Fiscal Court of any or all items bid, a contract shall hereby be created with respect to the items accepted.

Signed by: _____Date_____

Firm/Company _____Phone _____

Address _____

VI. Required Affidavit for Bidders, Offerors, and Contractors Claiming Resident Bidder Status

For Bids and Contracts in General:
The bidder or offeror hereby swears and affirms under penalty of perjury that, in accordance with KRS 45A.494(2), the entity bidding is an individual, partnership, association, corporation, or other business entity that, on the date the contract is first advertised or announced as available for bidding:

1. Is authorized to transact business in the Commonwealth;
2. Has for one year prior to and through the date of advertisement
    a. Filed Kentucky corporate income taxes;
    b. Made payments to the Kentucky unemployment insurance fund established in KRS 341.49; and
    c. Maintained a Kentucky workers' compensation policy in effect.

The BIDDING AGENCY (Campbell County Fiscal Court) reserves the right to request documentation supporting a bidder's claim of resident bidder statue. Failure to provide such documentation upon request shall result in disqualification of the bidder or contract termination.

_____ _____
Signature Printed Name

_____ _____
Title Date

Company Name: _____

Address: _____

_____

Subscribed and sworn to before me by:_____ _____
Affiant Title

of_____this_____day of _____, 20____.
(Company Name)

_____ _____/_____/_____
Notary Public My commission expires

VII. References/List of Relevant Work

1. Attach additional sheets if necessary

Project:	
Client:	
Contact Name:	
Phone Number:	
Email:	
Description of Work Performed:	
Project:	
Client:	
Contact Name:	
Phone Number:	
Email:	
Description of Work Performed:	
Project:	
Client:	
Contact Name:	
Phone Number:	
Email:	
Description of Work Performed:	

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CAMPBELL COUNTY ANIMAL SHELTER

1989 POPLAR RIDGE ROAD
MELBOURNE, KY

PCA ARCHITECTURE
906 MONMOUTH STREET
NEWPORT, KY 41071
www.PCA-ARCH.com
859.431.8612
ARCHITECT

EMMA ADKISSON
REGISTERED
No. 7610
COMMONWEALTH OF KENTUCKY
ARCHITECT

DRAWING LIST	
Sheet Number	**Sheet Name**
GENERAL	
G000	COVER SHEET
G001	SPEC SHEET
DEMOLITION	
D100	DEMOLITION PLAN
STRUCTURAL	
S001	GENERAL STRUCTURAL NOTES
S110	FOUNDATION PLAN
S120	FRAMING PLAN
S310	FOUNDATION SECTIONS
S320	FRAMING SECTIONS
ARCHITECTURAL	
A100	FIRST FLOOR PLAN
A101	ROOF PLAN
A200	EXTERIOR ELEVATIONS
A400	REFLECTED CEILING PLAN
A500	WALL SECTIONS
A600	DOOR & ROOM SCHEDULES & MILWORK ELEVATIONS

BUILDING CODE
2018 KENTUCKY BUILDING CODE

SECTION 304 - USE GROUP

BUILDING USE GROUP: (B) BUSINESS
NO CHANGE TO BUILDING USE GROUP

SECTION 503 - GENERAL BUILDING HEIGHT AND AREA LIMITATIONS

CONSTRUCTION TYPE: EXISTING BUILDING = 5B

HEIGHT:
1 FLOOR (EXISTING)

AREA:
APPRX. 5,216 SF (EXISTING) AND 1,897 SF (NEW)

SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS
BUILDING IS NOT EQUIPPED WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM.

MEP DRAWINGS
HVAC, ELECTRICAL, AND PLUMBING DRAWINGS TO BE SUBMITTED UNDER SEPARATE PERMIT BY DESIGN-BUILD CONTRACTORS

GENERAL PROJECT NOTES

DIVISION 01 – GENERAL REQUIREMENTS

013000 – ADMINISTRATIVE REQUIREMENTS
1. Contractor shall be responsible for verification and coordination of sub-contractors work to secure compliance with the drawings and specifications.
2. Safety: In accordance with generally accepted construction practices, Contractor will be solely and completely responsible for conditions of job site, including safety of all persons and property during performance of this work. This requirement will apply continuously and not be limited to normal working hours.
3. The Architect shall not be responsible for the means, methods, techniques, sequences or procedures of construction selected by the Contractor.

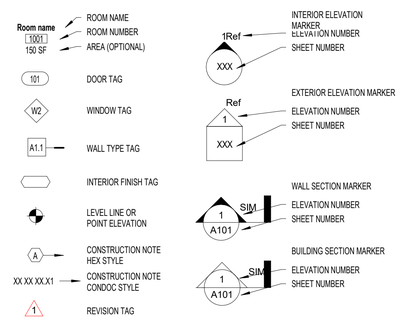
014000 – QUALITY REQUIREMENTS
1. The Contractor shall obtain and pay for all required permits and inspections unless indicated otherwise.
2. All work shall conform to the current building code, and all applicable laws, rules, regulations and ordinances or governing authorities. In case of conflict the most restrictive shall not limit their applicability.
3. The term "provide" when used shall mean "furnish and install" unless noted otherwise.
4. Provide blocking in walls, ceilings, etc. wherever items will be attached to these surfaces (i.e. toilet accessories, wall mounted door stops, fixtures, casework, handrails, A/V equipment, etc.).
5. Provide firestopping at all locations required by governing codes and authorities. Contact building inspector for inspection of all firestopping prior to installation of any material which may conceal the firestopping.
6. If there is a conflict on the drawings the most stringent/expensive/greatest quantity shall apply.

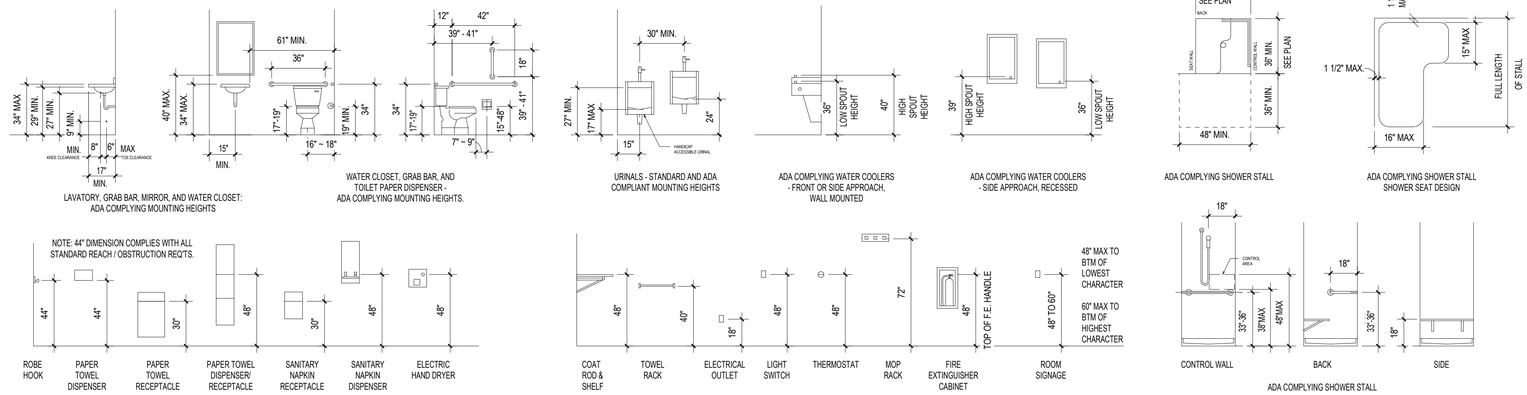
015000 – TEMPORARY FACILITIES AND CONTROLS
1. Contractor is responsible for providing any temporary water, electrical service, heating and trash removal as needed to complete the work.
2. Contractor shall collect and remove all rubbish, surplus material, tools and scaffolding pertaining to his work on a regular basis throughout the construction in order to maintain an orderly working environment.
3. Temporarily brace structural components as required to maintain stability until complete and functioning as a designed unit.
4. Fumes and dust shall be controlled so as to prevent any harmful or undesirable effects in the surrounding area.

DIVISION 02 – EXISTING CONDITIONS

022000 – ASSESSMENT
1. Commencement of work by the Contractor or Trade shall signify the acceptance of the site conditions.
2. Area and dimensions: It shall be the responsibility of the Contractor(s) or Trade(s) to verify all area takeoffs and dimensions by making their own field measurements before starting work or ordering materials.
3. The Contractor shall verify at the job site, all dimensions and conditions shown on the drawings and within the Contract Documents and shall notify the Architect of any discrepancies, omissions and/or conflicts before proceeding with the project. All discrepancies shall be resolved before starting work or ordering materials.
4. The Contractor shall not scale drawings, written dimensions shall govern. Large scale drawings shall govern over small scale drawings. Field verify existing conditions where no dimensions exist.
5. All dimensions to existing construction are to the finished face. All dimensions to new construction are to face of concrete, face of masonry, face of stud or column centerline unless noted otherwise. Any dimension noted as 'CLEAR' or "CLR" is from finished face to finished face.
6. Contractor shall verify location of all existing utilities. Take precautions as necessary to protect them. Repair all utilities damaged during construction at no cost to the Owner.
7. The removal and installation of mechanical, electrical, plumbing and architectural items may require the penetrations or removal of existing floors, ceilings, and walls. Patch and finish all existing surfaces that are disturbed during construction unless noted otherwise.

SYMBOL LEGEND





1 STANDARD ADA MOUNTING HEIGHTS

SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION	DATE
1	PERMIT SET	10/26/2022

COVER SHEET

21-106

G000

PRINT DATE: 10/26/2022 3:56:01 PM

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GENERAL PROJECT NOTES – TECHNICAL SPECIFICATIONS

DIVISION 03 – CONCRETE

033000 – CAST-IN-PLACE CONCRETE
001Concrete mixtures (normal aggregate) shall be as follows (f'c based on 28 day unless noted otherwise):
a.) Footings: f'c = 3000 psi
b.) Foundation and retaining walls: f'c = 4000 psi, 4.5%-7.5% entrained air, maximum water/cementitious ratio = 0.50
c.) Interior floor slabs: f'c = 4000 psi, maximum water/cementitious ratio = 0.50
d.) Exterior flatwork: f'c = 4500 psi, 4.5%-7.5% entrained air, maximum water/cementitious ratio = 0.45
e.) Reinforcing steel: ASTM A615 60 KSI yield deformed bars and ASTM A185 mesh, flat sheets only
f.) Fly ash: ASTM C618, type F or C. Total fly ash-to-portland cement ratio shall not exceed 20% maximum.
g.) High range water reducer (HRWR) admixture: ASTMC494
h.) Chloride content of concrete: Limit total chloride ion to amount indicated in table 4.4.1 of ACI 318. Admixtures containing chloride are not permitted in reinforced concrete or concrete containing metals.
002Interior floor slabs shall be placed over 10 mil vapor barrier over compacted granular base.
003Interior floor slabs are to be trowel finished and shall meet specified overall value of flatness of FF-25 and levelness FI-20; minimum local value of flatness FF-17 and levelness FI-15. Maximum gap under 10 ft. unleveled straightedge = ¼".
004Control joints in interior slabs on grade shall be located at 15'-0" o.c. maximum unless noted otherwise with a maximum aspect ratio of 1-1/2 to 1. Control joints shall be sawn and shall be a minimum ¼ of the slab thickness. Where brittle floor finishes are to be applied to floor slabs, coordinate control joint locations with floor finish joint locations and Architect.
005Exterior flatwork shall receive a broom finish. Provide control joints at 5'-0" o.c. maximum and expansion joints at 20'-0" o.c. maximum unless noted otherwise. Slope all concrete to drain away from the building 1/4" per 1'-0".
006Concrete work and testing shall conform to all requirements of ACI 301-89, "Specifications for Structural Concrete for Buildings", unless otherwise noted. Reports from tests required by Chapter 16 of ACI 301 shall be submitted to the Owner and Building Official
007Concrete work in cold weather shall conform to all requirements of ACI 306.1-90 "Standard Specification for Cold Weather Concreting" and ACI 306R-88 "Cold Weather Concreting".
008Concrete work in hot weather shall conform to all requirements of ACI 305R-91 "Hot Weather Concreting" The air temperature, relative humidity, concrete temperature and wind velocity shall be entered into nomograph figure 2.1.5 to determine if precautions plastic shrinkage are required.
009Concrete mix designs shall be in accordance with ACI 301 Section 3.9 or 3.10
010Lap splice reinforcing bars as follows unless noted otherwise:
a.) Bars with more than 12" of concrete below – 48 bar diameters.
b.) Bars with less than 12" of concrete below – 40 bar diameters.
012At corners and intersections of footings, grade beams and walls, provide bent bars of equal size and at same spacing as typical reinforcing around corner and/or onto abutting footing, grade beam, or wall. Bars shall have embedment of 30 diameters (18" min.)

DIVISION 04 – MASONRY

042000 – UNIT MASONRY
001Concrete masonry units to be normal weight with minimum average net-area compressive strength of 1900 psi
002Control/expansion joints in concrete masonry units and brick shall be 3/8" wide and installed at 24'-0" o.c. max. unless indicated otherwise on the drawings. Joints shall receive backing rod and caulk.
003Mortar type shall be per the following applications:
a.) Masonry below grade or in contact with earth, use Type M
b.) Reinforced masonry, use Type S
c.) Exterior, above-grade, load bearing and non-load bearing walls; interior load bearing and non-load bearing walls; and other applications where another type is not indicated, use Type N.
004Horizontal joint reinforcing for single wythe concrete masonry to be hot dip galvanized 9 gage ladder type placed at 16" o.c. vertically unless noted otherwise. Lap reinforcing 6" minimum. Discontinue reinforcing at movement joints.
005Thru-wall flashing shall be asphalt-coated copper - 7 oz./sq. ft.
a.) At lintels and shelf angles, extend flashing a minimum of 6 inches into masonry at each end. At heads and sills, extend flashing 6 inches at ends and turn up not less than 2 inches to form end dams.
b.) Install stainless steel drip edge beneath flexible flashing at exterior face of wall. Metal drip edge shall extend no less than 3 inches into the wall and be set in mastic or sealant. Stop flexible flashing 1/2 inch back from outside face of wall and adhere flexible flashing to top of metal drip edge. Metal drip edge shall be turned down ½ inch.
006Provide free draining mesh material ("Mortar Net" by Heckman Building Products or equal) at all thru-wall flashing locations.
007Weep/Vent Products: Install at 24" o.c. using one of the following, unless otherwise indicated:
a.) Wicking material: Absorbent rope, made from cotton, 1/4 to 3/8 inch in diameter, in length required to extend 18 inches in cavity between wythes. Cut flush with exterior face of masonry.
b.) Cellular Plastic Weep/Vent: One piece, flexible extrusion made from UV-resistant polypropylene copolymer, full height and width of head joint and depth 1/8" less than depth of outer wythe, in color selected from manufacturer's standard.
008Masonry construction and materials shall conform to all requirements of "Specifications for Masonry Structures (ACI 530.1/ASCE 6-88)" except as modified by the requirements of these contract documents.
009Grout for bond beams and for filling hollow block: Concrete grout complying with ASTM C476 with fine aggregate and with minimum compressive strength of 3000 psi at 28 days. Place grout carefully around all reinforcing to fill all voids.
010Reinforcing steel: ASTM A615, 60 ksi yield, Size and number of bars in bond beams as shown on drawings. Lap all bars a length equal to 48 bar diameters minimum.
011Standard precast concrete lintels shall be nominal 8" high x width of wall below as shown on drawings unless two lintels side by side are shown on the drawings. Concrete for precast lintels shall be made with normal weight aggregate complying with ASTM C33 and with portland cement complying with ASTM C150. Concrete shall be air-entrained and shall have minimum compressive strength of 4000 psi at 28 days. Reinforcing steel for lintels shall be ASTM A615, 60 ksi yield. Size and number of bars as shown on drawings.
012Site observation of masonry work is required per ACI 530.1-88/ASCE 6-88. Site observation will be made by the structural engineer, architect or an alternate approved by the structural engineer. Cost of this service will be paid by the Owner. Request for inspection is the responsibility of the Contractor. The site observer will endeavor to verify compliance with the drawings and specifications and keep a record of observations.
013Provide prefabricated "L" and T" shaped horizontal joint reinforcing at wall intersections.
014Running bond pattern shall be used for all masonry work. Tool all joints concave.
015Unless noted otherwise on plans, under lintels, bearing plates, beams, etc., fill cells with Grout, 3 courses minimum below bearing.
016All reinforcing steel shall be supported and fastened to approved positioners located at 192 bar diameters maximum spacing to prevent displacement during the placement of grout.
017Provide lap splices of length equal to 48 bar diameters for all reinforcing unless noted otherwise.
018At masonry control joints, use concrete masonry units with sash notch in ends aligned vertically over each notch in ends of units below. Install hard rubber control joint strip vertically in notched block to tie the two sides of the joint together. Rake mortar from the vertical control joints for caulking.
019All pre-cast concrete sills, heads, copings, etc. rake each joint and caulk.
020Single wythe exterior cmu walls shall have integral water repellant in the cmu and mortar mix. Walls shall also be sealed with a breathable sealer compatible with the masonry integral water repellant.
021At exterior single wythe cmu walls provide flashing system (Blockflash by MortarNet or equal) consisting cell flashing pans and interlocking CMU web covers made from UV resistant, high density polyethylene and including mesh drainage mat. Cell flashing pans shall have integral weep spots designed to be built into mortar bed joints and that extend into the cell to prevent clogging with mortar.

DIVISION 05 – METALS

051000 – STRUCTURAL METAL FRAMING
001All miscellaneous metal fabrications, lintels, structural steel, etc. exposed to the exterior shall be galvanized unless noted otherwise.
002All anchor bolts and expansion bolts shall be galvanized steel bolts of the sizes shown on drawings or, if not shown, as required to carry superimposed loads.
003Framing connectors specified on the drawings shall be galvanized steel metal connectors manufactured by the Simpson Strong Tie Company and shall be fastened as specified in the Simpson Product and Instruction Manual to carry the maximum allowable load of the connectors.

DIVISION 06 – WOOD, PLASTICS AND COMPOSITES

061000 – ROUGH CARPENTRY
001Framing lumber shall be as follows:
a.) 2x6 and larger: No. 1 grade or better Southern Pine, kiln dried
b.) 2x4: Stud grade or better Spruce, Pine, Fir kiln dried
c.) 2x6: No. 2 grade or better Spruce, Pine, Fir kiln dried
002CCA or CZC pressure treat piece in contact with foundation, exposed to weather and as noted on the drawings.
003Wood sheathing/subfloor on floors, walls, and roof shall be APA Rated Exposure 1 for the respective application and span. All sheathing to be nailed with 8d nails at 6" on center at panel edges and 12" on center at intermediate supports. Wood subfloor shall be tongue & groove and glued and nailed/screwed to joists. Final subfloor shall be level to receive finish floor.
004Air and water membrane building wrap/paper shall be attached and lapped per manufacturer's recommendations with seams, edges, fasteners, and penetrations taped.
005Maximum moisture content of lumber: 15 percent unless otherwise noted.
006Provide underlayment in nominal thicknesses indicated or, if not indicated, not less than 1/2" inch. DOC PS 1, Exterior A-C with fully sanded face.
007Provide fasteners of size and type indicated that comply with requirements specified in this article for material and manufacturer.
a.) Nails, brads and staples: ASTM F 1667
b.) Power-driven fasteners: NES NER-272
c.) Wood Screws: ASME B18.6.1
d.) Lag Bolts: ASME B18.2.1
e.) Bolts: Steel bolts complying with ASTM A 307, Grade A: with ASTM A 563 hex nuts and, where indicated, flat washers.
008Adhesive formulation complying with ASTM D 3498 that is approved for use indicated by adhesive manufacturer.
009Set carpentry to required levels and lines, with members plumb, true to line, cut and fitted. Fit carpentry to other construction; scribe and cope as needed for accurate fit. Locate furring, nailers, blocking and similar supports to comply with requirements for attaching other construction.
010Comply with AF&PA's WCD 1, "Details for Conventional Wood Frame Construction," unless otherwise indicated.
011Securely attach carpentry work to substrate by anchoring and fastening as indicated, complying with the following:
a.) NES NER-272 for power-driven fasteners.
b.) Table 2304.9.1 "Fastening Schedule," in ICC's International Building Code.
c.) Table R602.3(2), "Alternate Attachments," in ICC's International Residential Code for One and Two Family Dwellings.
012Use common steel nails unless otherwise indicated. Select fasteners of size that will not fully penetrate members where opposite side will be exposed to view or will receive finish materials. Make tight connections between members. Install fasteners without splitting wood. Drive nails snug but do not countersink nail heads unless otherwise indicated.
013Comply with applicable recommendations in APA Form No. E30, "Engineered Wood Construction Guide," for types of structural-use panels.

062000 – FINISH CARPENTRY
001Provide an adequate number of screws in each cabinet as recommended by the manufacturer. Provide blocking as required to support cabinet.
002Install cabinets without distortion so doors and drawers fit openings properly and are accurately aligned. Adjust hardware to center doors and drawers in openings and to provide unencumbered operation. Complete installation of hardware and accessory items as indicated.
003Anchor securely by screwing through corner blocks of base cabinets or other supports into underside of countertop.
004Complete fabrication, including assembly, finishing and hardware application, to maximum extent possible before shipment to project site. Disassemble components only as necessary for shipment and installation. Where necessary for fitting at site, provide ample allowance for scribing, trimming and fitting.
005Finish exposed ends and running trim for opaque finish. Poplar or any closed-grained hardwood.
006Laminate cladding for exposed surfaces: High-pressure decorative laminate GRADE HGS. Color as selected by Owner.
007Examine substrates and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the work. Proceed with installation only after unsatisfactory conditions have been corrected.
008Install woodwork level, plumb, true and straight. Shim as required with concealed shims. Install level and plumb (including tops) to a tolerance of 1/8 inch in 96 inches.
009Scribe and cut woodwork to fit adjoining work, refinish cut surfaces and repair damaged finish at cuts.
010Anchor woodwork to anchors or blocking built in or directly attached to substrates. Secure with countersunk, concealed fasteners and blind nailing as required for complete installation. Use fine finishing nails or finishing
011Install with minimum number of joints possible, using full-length pieces (from maximum length of lumber available) to greatest extent possible. Do not use pieces less than 60 inches long, except where shorter single-length pieces are necessary. Scarf running joints and stagger in adjacent and related members.

DIVISION 07 – THERMAL AND MOISTURE PROTECTION

072000 – THERMAL AND MOISTURE PROTECTION
001Insulation shall have a flame-spread index of not more than 25 and a smoke-developed rating of not more than 450 for both concealed and exposed installations. In concealed applications of Type III, IV, or V construction, insulation facing is not required to comply flame spread and smoke developed ratings where insulation is in direct contact with the surface material of the wall, floor, or ceiling.

075000 – MEMBRANE ROOFING
001The EPDM membrane roof warranty shall cover a 15-year minimum full system warranty which includes material and installation. The roof shall be inspected and approved for warranty by the roofing manufacturer representative. The proper documentation shall be submitted to the Owner.

076000 – FLASHING AND SHEET METAL
001All prefinished metal flashing, counter flashing, drip edges, valley flashing, etc. shall be .032 inch aluminum.
002Install ice and water membrane at all edges (eaves and rakes, etc.) and valleys (Grace Ice and Water Shield or equal)
003Install step flashing and counter-flashing as required at all masonry intersections with different materials (i.e. chimneys). Let counter-flashing into brick.

077000 – ROOF SPECIALTIES
001Gutters shall be residential aluminum with ogee profile with concealed support straps at 24" o.c. maximum, 5" wide. Provide expansion joint at maximum 30'-0" o.c. Gutters shall be painted with Kynar paint - 10 year finish warranty. Downspouts shall be residential aluminum with support brackets at maximum 6'-0" o.c. vertically, 2" x3" profile. Downspouts shall be painted with Kynar paint. Provide concrete splash block.

078000 – FIRE AND SMOKE PROTECTION
001Provide penetration firestopping that is produced and installed to resist spread of fire according to requirements indicated, resist passage of smoke and other gases, and maintain original fire-resistance rating of construction penetrated. Penetration firestopping systems shall be compatible with one another, with the substrates forming openings, and with penetrating items if any.
002Install penetration firestopping to comply with manufacturer's written installation instructions and published drawings for products and applications indicated.
003Where required, provide fire-resistive joint systems that are produced and installed to resist spread of fire according to requirements indicated, resist passage of smoke and other gases, and maintain original fire-resistance rating of assemblies in or between which fire-resistive joint systems are installed. Fire-resistive joint systems shall accommodate building movements without impairing their ability to resist the passage of fire and hot gases.

079000 – JOINT PROTECTION
001For interior joints to be painted such as around door frames and where different materials to be painted meet: Acrylic latex caulking by Porter, Tremco or Dap
002For exterior joints and for interior and exterior joints around louvers, windows, masonry control joints, etc.: Tremco Dymonic or Sonneborn Sonolastic NP 1 sealant. At control joints in masonry and elsewhere as required, install foam backer rod behind sealants.
003Exterior Joints: (B.O.D. Dow Corning or equal)
a.) Perimeters of exterior openings where frames meet exterior façade (i.e. precast, masonry, EIFS, stucco, etc.): Dow Corning 795 Silicone Building Sealant OR Dow Corning 756 SMS Building Sealant.
b.) Expansion and control joints (for exterior surfaces indicated):
1. Unit masonry walls: Dow Corning 790 Silicone Building Sealant OR Dow Corning 795 Silicone Building Sealant.

004Interior Joints: (B.O.D. Dow Corning or equal)
a.) Interior perimeters of exterior openings: Dow Corning 791 Silicone Waterproofing Sealant.
b.) Expansion or control joints: On the interior of the following exterior elements:
c.) Unit masonry walls: Dow Corning 795 Silicone Building Sealant.
d.) Expansion and control joints in interior floor surfaces: Dow Corning NS (non-sag) Parking Structure Sealant OR flexible epoxy joint filler for wheeled traffic on industrial floors.
e.) Perimeters of interior frames: Dow Corning 791 Silicone Weatherproofing Sealant OR Dow Corning Contractors Weatherproofing Sealant
f.) Interior masonry vertical control joints: Dow Corning 795 Silicone Building Sealant OR Dow Corning Contractors Concrete Sealant.
g.) Exposed control joints in gypsum board: siliconized/acrylic latex sealant.
h.) Exposed and non-exposed acoustical applications in gypsum board: acoustical sealant.

0051. Caulk the following locations:
1a. Perimeter joints of exterior openings.
1b. Open cracks at intersecting walls.
1c. Joints between plumbing fixtures and adjoining walls, floors and counters.
1d. Joints between dissimilar materials.
1e. Other joints where indicated or necessary for weathertight/watertight/airtight installation.
2. Provide caulking with the following characteristics:
2a. All interior locations unless noted otherwise: Latex caulk complying with ASTM C 834, Type P, Grade NF or better.
3. Provide backing materials where recommended, or required, by caulking manufacturer.
006Provide joint sealants, backings and other related materials that are compatible with one another and with joint substrates under conditions of service and application, as demonstrated by joint-sealant manufacturer, based on testing and field experience.
007Provide sealant backings of material that are nonstaining; are compatible with joint substrates, sealants, primers and other joint fillers; and are approved for applications indicated by sealant manufacturer based on field experience and laboratory testing.
008Install joint sealants according to manufacturer's written installation instructions for products and applications indicated, unless more stringent requirements apply.
009Comply with recommendations in ASTM C 1193 for use of joint sealants as applicable to materials, applications, and conditions indicate.
010Interior joints in vertical surfaces and horizontal nontraffic surfaces: Latex
011Mildew resistant interior joints in vertical surfaces and horizontal nontraffic surfaces: Mildew resistant, single component, nonsag, neutral curing, Silicone.
012Caulk colors shall be similar to adjacent material. Consult Owner on final color selection.

DIVISION 08 – OPENINGS

081000 – DOORS AND FRAMES
001Metal door frames shall be galvanized (at exterior locations), primed and painted 16 gage steel frames fabricated of full-welded unit construction with exposed welds ground smooth. Face of frames shall be 2" at jambs and 4" at heads to work with masonry coursing. Reinforce frames as required for hardware and furnish al required anchors. Install frames in accordance with manufacturer's recommendations.

087100 – DOOR HARDWARE
001All hardware shall be heavy duty, commercial grade. All locksets and latchsets shall have levers complying with handicap requirements. Install all hardware in accordance with manufacturer's recommendations. Key and masterkey locks as directed by Owner

DIVISION 09 – FINISHES

092000 – PLASTER AND GYPSUM BOARD
001All drywall joints shall be taped with paper tape, open mesh tape is not permitted.
002Provide continuous metal edge (USG #801-A) at all exposed panel edges and intersection with non-gypsum surfaces. J-stop moldings are not permitted.
003Provide gypsum board control joint at 20'-0" o.c. maximum, unless noted otherwise, in continuous wall or ceiling lengths
004Finish gypsum panels to levels indicated below:
a.) Level 4: Panel surfaces exposed to view storage rooms, mechanical rooms, and janitor rooms.
b.) Level 5: All other panel surfaces exposed to view.
005Water-resistant gypsum board must be used at all walls in the bathroom and within six horizontal feet of wall surfaces where the drywall can be splashed such as kitchen, sink, next to water heater and/or washer.
006Install fiberglass reinforced concrete board behind all areas to receive tile.
007Gypsum board shall comply with ASTM C36
008Screws in types and lengths as recommended by drywall manufacturer. No nails allowed.
009All purpose, ready-mixed compound with reinforcing tape at seams.
010Casing beads, corner beads, etc. shall be metal (plastic or vinyl is not permitted).
011Level 5 drywall finish requires all the operations in Level 4. Additionally, a thin skim coat of joint compound, or material manufactured especially for this purpose, is applied to the entire surface. The surface is smooth and free from tool marks and ridges.
012Steel drill screws: ASTM C 1002.
013After gypsum board is hung and before finish coat is applied, Owner and Architect shall review hanging to ensure no nails were used. NO NAILS ARE PERMITTED.
014Install gypsum board continuous behind all bulkheads and drop down ceilings.

099000 – PAINTING AND COATING
001All surfaces to be painted shall be prepped in accordance with the paint manufacturer's recommendations to full coverage. Prime all surfaces in accordance with the paint manufacturer's recommendations. All surfaces to receive one primer coat and two finish coats.
002Painting work includes applying a paint coating as scheduled on drawings to walls, doors, frames, trim, etc. Paint all surfaces. Products shall be high quality products as manufactured by Porter, Benjamin Moore, Glidden or Sherwin Williams. Colors shall be selected from color charts of manufacturer.
003Paint shall be applied in separate coats. Sand between coats as required for smooth finish. Apply additional topcoats if required to provide a smooth even finish or if required to provide complete coverage of substrates.
004Apply paint in accordance with manufacturer's recommendations. Take care to avoid danger of fire. Remove oily or solvent coated rags daily. Mask adjoining surfaces, protect against areas from damage and touch up all paint as required.
005Apply paints to produce surface films without cloudiness, spotting, holidays, laps, brush marks, roller tracking, runs, sags, ropiness, or other surface imperfections. Cut in sharp lines and color breaks.
006Use applicators and techniques suited for paint and substrate indicated.
007Provide materials for use within each paint system that are compatible with one another and substrates indicated, under conditions of service and application as demonstrated by manufacturer, based on testing and field experience.
008Interior doors/trim shall have one of the following finishes: Painted – primed once, with two-coat satin or semi-gloss finish on all sides and faces.
009Interior walls shall be primed once, with two-coat finish with eggshell finish unless noted otherwise. Use gloss, semi-gloss or satin finish for bathrooms, laundry and kitchens.
010Interior ceilings paint sheen shall be flat unless noted otherwise.
011Scrape and remove all loose paint prior to repainting.

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CAMPBELL COUNTY ANIMAL SHELTER

1989 POPLAR RIDGE ROAD
MELBOURNE, KY

NO.	DESCRIPTION	DATE
1	PERMIT SET	10/26/2022

SPEC SHEET

21-106

G001

PRINT DATE: 10/26/2022 3:56:02 PM

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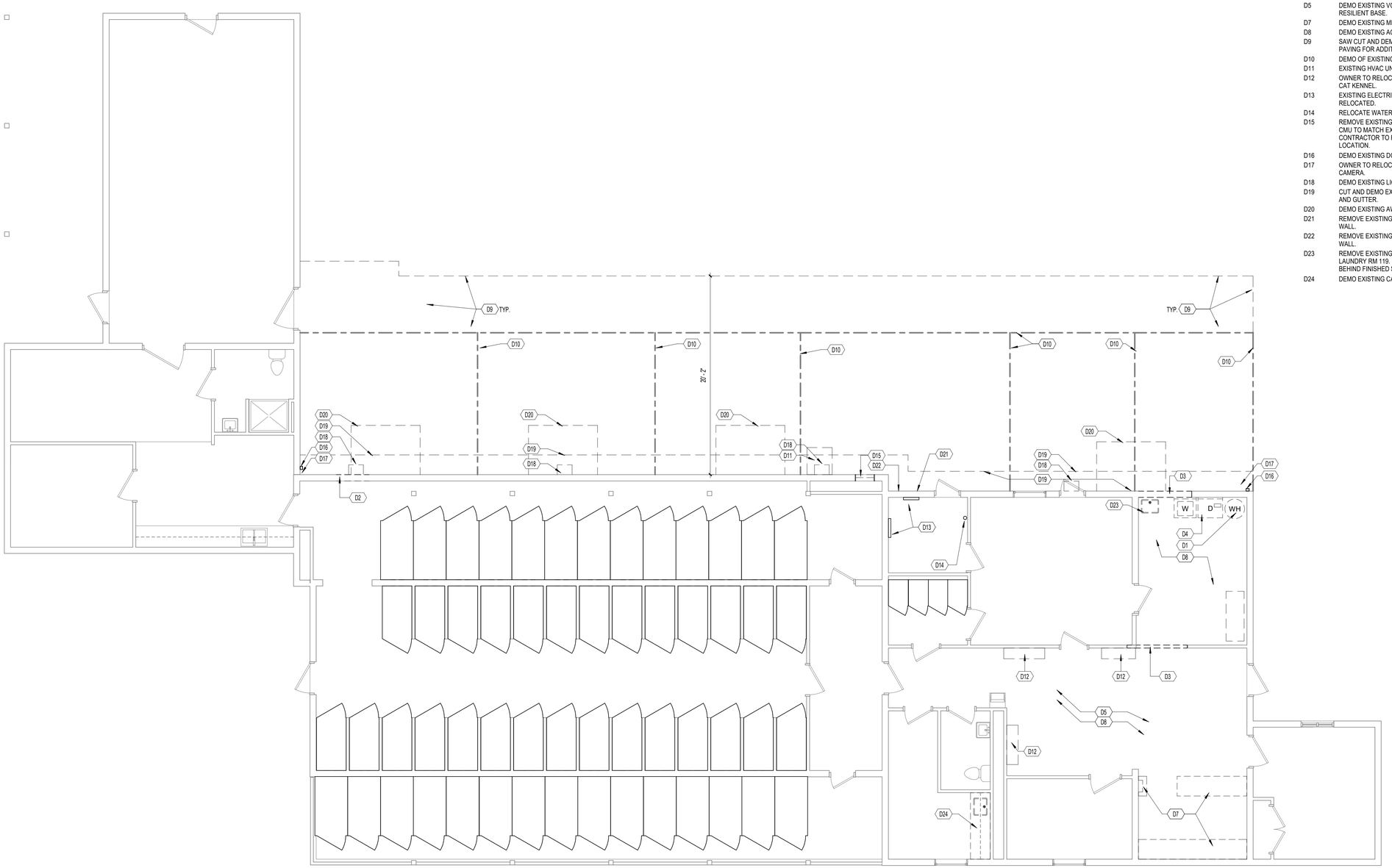

DEMO PLAN CONSTRUCTION NOTES

D1	RELOCATE WATER HEATER. REMOVE PLUMBING TO BEHIND FINISH SURFACE.
D2	DEMO PORTION OF CMU WALL FOR NEW FOR NEW DOOR.
D3	REMOVE PORTION OF EXISTING CMU WALL.
D4	OWNER TO RELOCATE WASHER AND DRYER TO NEW LAUNDRY. REMOVE PLUMBING TO BEHIND FINISH SURFACE.
D5	DEMO EXISTING VCT FLOORING AND RESILIENT BASE.
D7	DEMO EXISTING MILLWORK.
D8	DEMO EXISTING ACOUSTICAL PANEL CEILING.
D9	SAW CUT AND DEMO EXISTING CONCRETE PAVING FOR ADDITION.
D10	DEMO OF EXISTING CHAIN-LINK FENCE.
D11	EXISTING HVAC UNIT TO BE RELOCATED.
D12	OWNER TO RELOCATE EXISTING PORTABLE CAT KENNEL
D13	EXISTING ELECTRIC SERVICE TO BE RELOCATED.
D14	RELOCATE WATER SERVICE.
D15	REMOVE EXISTING LOUVER AND INFILL WITH CMU TO MATCH EXISTING. HVAC CONTRACTOR TO RELOCATED AIR INTAKE LOCATION.
D16	DEMO EXISTING DOWNSPOUT.
D17	OWNER TO RELOCATE EXISTING SECURITY CAMERA.
D18	DEMO EXISTING LIGHTS.
D19	CUT AND DEMO EXISTING ROOF OVERHANG AND GUTTER.
D20	DEMO EXISTING AWNINGS.
D21	REMOVE EXISTING DRYER VENT. PATCH CMU WALL.
D22	REMOVE EXISTING HOSE BIBB. PATCH CMU WALL.
D23	REMOVE EXISTING SINK AND RELOCATE TO LAUNDRY RM 119. REMOVE PLUMBING TO BEHIND FINISHED SURFACES.
D24	DEMO EXISTING CABINETS AND SINK.

1 | A200 — DEMOLITION PLAN - FIRST FLOOR

SCALE: 3/16" = 1'-0"

MAGNETIC PLAN

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EMMA ADKISSON REGISTERED No. 7610 COMMONWEALTH OF KENTUCKY ARCHITECT

CAMPBELL COUNTY ANIMAL SHELTER

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DEMOLITION PLAN

21-106

D100

GENERAL STRUCTURAL NOTES

COPIES OF PUBLICATIONS REFERENCED IN THESE GENERAL STRUCTURAL NOTES ARE AVAILABLE FOR REVIEW AT ADVANTAGE GROUP ENGINEERS, INC. CONTRACTORS UNFAMILIAR WITH THESE PUBLICATIONS MUST REVIEW THEM PRIOR TO CONSTRUCTION.

GOVERNING CODE

KENTUCKY BUILDING CODE – 2018, BASED ON 2015 IBC

CLASSIFICATION OF BUILDING STRUCTURE:
RISK CATEGORY II, TABLE 1604.5

DESIGN LOADS

1. ROOF LOAD:

   A. MINIMUM LIVE LOAD OR SNOW LOAD: 20 PSF*
   B. ROOF MEMBRANE: 1 PSF
   C. INSULATION: 2 PSF
   D. METAL DECK: 2 PSF
   E. JOIST FRAMING LOAD: 3 PSF
   F. CEILING (5/8" DRYWALL): 3 PSF
   G. SPRINKLERS: 3 PSF
   H. DUCTS, LIGHTS, MISC. MECHANICAL: 2 PSF

*MINIMUM LIVE / SNOW LOAD GOVERNED BY MINIMUM SNOW LOAD, $P_m = I_s * P_g$

2. SNOW LOAD:
   A. GROUND SNOW LOAD, P_g = 20 PSF.
   B. FLAT ROOF SNOW LOAD, P_f = 14 PSF MODIFIED BY APPLICABLE BUILDING COEFFICIENTS.
   C. MINIMUM ROOF SNOW LOAD, P_m = 20 PSF.
   D. SNOW LOAD IMPORTANCE FACTOR, I_s = 1.00
   E. SNOW EXPOSURE FACTOR, C_e = 1.00
   F. THERMAL FACTOR, C_t = 1.00
   G. COORDINATE ROOF FRAMING WITH FINAL SELECTION OF ROOF SUPPORTED MECHANICAL EQUIPMENT AND ASSOCIATED OPENINGS. ITEMS TO BE COORDINATED INCLUDE SIZE, LOCATION, TOTAL WEIGHT, WEIGHT DISTRIBUTION, AND SUPPORT FRAME REQUIREMENTS.

3. WIND LOAD:

   A. MAIN WIND FORCE RESISTING SYSTEM: 115 MPH PER ASCE 7-10 (3-SECOND GUST - LOAD RESISTANCE FACTORED DESIGN).
   B. WIND EXPOSURE: B
   C. BASIC WIND VELOCITY PRESSURE, q_h= 9 PSF
   D. INTERNAL GUST PRESSURE COEFFICIENT, GCp = 0.18 (ENCLOSED BUILDING).

SPECIAL INSPECTIONS

PER THE REQUIREMENTS OF CHAPTER 17 SECTION 1704.1 OF THE REFERENCED BUILDING CODE, SPECIAL INSPECTION IS REQUIRED FOR THE PROPOSED BUILDING CONSTRUCTION. SPECIAL INSPECTION INVOLVES THE VERIFICATION OF COMPLIANCE OF MATERIALS, INSTALLATION, FABRICATION, ERECTION AND OR PLACEMENT OF COMPONENTS WITH THE OFFICIAL SET OF CONSTRUCTION DOCUMENTS AND REFERENCED STANDARDS. SPECIAL INSPECTION IS PART OF THE PERMIT APPLICATION PROCESS FUNDED BY THE OWNER OR OWNER'S AGENT.

A STATEMENT OF SPECIAL INSPECTION LISTING THE REQUIREMENTS ALONG WITH A SCHEDULE OF TESTING, SUBMITTAL REVIEWS, AND FIELD OBSERVATION REQUIREMENTS HAS BEEN PREPARED BY THE STRUCTURAL ENGINEER OF RECORD IN ACCORDANCE WITH SECTION 106.1 OF THE BUILDING CODE. THIS STATEMENT INCLUDES A COMPLETE LIST OF MATERIAL AND ACTIVITY REQUIRING INSPECTION. IT IS THE RESPONSIBILITY OF ALL PARTIES TO BECOME FAMILIAR WITH THIS REQUIREMENT AND UNDERSTAND THE GUIDELINES AND REQUIREMENTS OF EACH PARTY INVOLVED WITH THE CONSTRUCTION. A COPY OF THE STATEMENT OF SPECIAL INSPECTION IS INCLUDED IN THE GENERAL NOTES. THE SPECIAL INSPECTOR COORDINATOR SHALL COORDINATE WITH THE OWNER, CONTRACTOR AND THE DESIGN PROFESSIONALS AND SCHEDULE THE INSPECTIONS ACCORDINGLY.

SUBSTITUTIONS, SUBMITTALS, AND RFI'S

1. CONTRACTOR SHALL SUBMIT ALL SUBSTITUTIONS FOR APPROVAL PRIOR TO CONSTRUCTION WITH THE FOLLOWING INFORMATION:

   A. THE SCOPE, EXTENT, AND ALL LOCATIONS EFFECTED BY THE PROPOSED SUBSTITUTION.
   B. SPECIFIC DRAWING OR SPECIFICATION REFERENCES FOR THE ORIGINAL PRODUCT OR SYSTEM SPECIFIED.
   C. THE REASON FOR THE PROPOSED CHANGE.
   D. COST SAVINGS AND/OR IMPACT ON SCHEDULE
   E. IMPACT ON ANY GUARANTEES OR WARRANTIES ASSOCIATED WITH THE PRODUCT OR SYSTEM.
   F. COORDINATION REQUIRED WITH OTHER TRADES OR ADJACENT MATERIALS.
   G. ANY AND ALL DEVIATIONS FROM THE SPECIFIED REQUIREMENTS.

2. REQUESTS FOR INFORMATION (RFI'S) SHALL BE SUBMITTED IN A TIMELY MANNER WHEN INFORMATION IS MISSING FROM THE CONSTRUCTION DOCUMENTS, INFORMATION IS CONFLICTING WITHIN THE CONSTRUCTION DOCUMENTS, OR IS AMBIGUOUS.

   A. THE CONTRACTOR MUST USE DUE DILIGENCE IN ATTEMPTING TO FIND ANY ANSWER PRIOR TO SUBMITTING AN RFI.
   B. IF THE INFORMATION REQUESTED IN AN RFI IS APPARENT FROM FIELD OBSERVATION, IS CONTAINED IN THE CONSTRUCTION DOCUMENTS, OR IS REASONABLY INFERABLE FROM THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL REASONABLE COSTS CHARGED RELATED TO ADDITIONAL SERVICES INCURRED DUE TO ANSWERING THE RFI.

CONSTRUCTION AND SAFETY

1. CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED TO MAINTAIN STABILITY UNTIL COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.

2. ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY CONTRACTOR.

3. THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. WHEN ON SITE, THE ENGINEER IS RESPONSIBLE FOR HIS OWN SAFETY BUT HAS NO RESPONSIBILITY FOR THE SAFETY OF OTHER PERSONNEL OR SAFETY CONDITIONS AT THE SITE.

4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. SHOULD ANY DISCREPANCY BE FOUND, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY OF THE CONDITION.

5. CONTRACTOR SHALL BRACE ENTIRE STRUCTURE AS REQUIRED DURING CONSTRUCTION TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETE AND FUNCTIONING AS THE DESIGNED UNIT.

FOUNDATIONS

1. SOIL CONDITIONS:

   A. PER THE CLIENT'S REQUEST, THE FOUNDATION DESIGN AND GENERAL FOUNDATION NOTES ARE BASED ON THE ASSUMPTION OF FAVORABLE SOIL CONDITIONS. THE CONTRACTOR SHALL RETAIN A GEOTECHNICAL ENGINEER TO VERIFY DESIGN ASSUMPTIONS PRIOR TO FOUNDATION INSTALLATION. THE COST FOR THE GEOTECHNICAL ENGINEER SHALL BE IDENTIFIED AS A SEPARATE ITEM ON THE CONTRACTOR'S BID. THE CONTRACTOR SHALL SUBMIT COPIES OF THE GEOTECHNICAL ENGINEER'S REPORT TO ADVANTAGE GROUP ENGINEERS.

2. BOTTOM OF FOUNDATION ELEVATION INDICATED ARE FOR BIDDING PURPOSES AND MAY BE LOWERED TO SUIT SUB-SURFACE SOIL CONDITION. BEARING STRATA SHALL BE APPROVED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE. PROVIDE ENGINEERED FILL OR FLOWABLE FILL CONCRETE (500 PSI) UNDER FOUNDATIONS AT SOFT SPOTS AND FOR EXTENDING EXCAVATION TO ADEQUATE BEARING MATERIAL. INSTALL FOUNDATIONS AT DESIGNED ELEVATIONS.

3. FOOTINGS AND GRADE BEAMS MAY BE PLACED WITHOUT SIDE FORMS IF EXCAVATED WALLS STAND APPROXIMATELY VERTICAL.

4. ALL FOOTINGS SHALL BEAR ON LEVEL (WITHIN 1 IN 12) UNDISTURBED SOIL OR APPROVED ENGINEERED FILL. FOUNDATIONS HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 1500 PSF BELOW STRIP FOOTINGS.

5. CONTRACTOR SHALL CONTACT UTILITY COMPANIES FOR LOCATING UNDERGROUND SERVICES AND IS RESPONSIBLE FOR THEIR PROTECTION AND SUPPORT.

6. COMPACTION:

   A. ALL FILL MATERIALS SHALL BE APPROVED BY A GEOTECHNICAL CONSULTANT.
   B. ENGINEERED FILL BENEATH FOOTINGS: MINIMUM COMPACTION 98% STANDARD PROCTOR DENSITY AT THE OPTIMUM MOISTURE CONTENT.
   C. BACKFILL AGAINST FOUNDATION WALLS ALONG INTERIOR FACE OF FOUNDATION WALLS SHALL BE CLAYEY MATERIAL COMPACTED IN 6" LIFTS TO 95% STANDARD PROCTOR DENSITY OR CONCRETE WITH A COMPRESSIVE STRENGTH OF f'_c = 500 PSI.
   D. BACKFILL ALONG EXTERIOR FACE OF BASEMENT OR ALONG RETAINING TYPE WALLS SHALL BE A WELL-GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY UP TO WITHIN 24 INCHES OF THE FINISHED GRADE. TOP 24" OF BACKFILL SHALL BE COMPACTED CLAYEY MATERIAL. AT THE BOTTOM OF THE GRANULAR MATERIAL, PLACE A 4" DIAMETER PERFORATED FOUNDATION DRAINPIPE WITH POSITIVE DRAINAGE TO SUMP OR TO DAYLIGHT. AT EXTERIOR RETAINING WALLS, 4" DIAMETER WEEP HOLES AT 10'-0" ON CENTER MAXIMUM MAY BE INSTALLED IN LIEU OF PERFORATED FOUNDATION DRAIN.
   E. BACKFILL ALONG EXTERIOR FACE OF SHALLOW WALL FOUNDATIONS TO BE COMPACTED CLAYEY MATERIAL; COMPACT TO 95% STANDARD PROCTOR.
   F. FILL BELOW FLOOR SLABS TOP 12" OF SUBBASE BELOW INTERIOR FLOOR SLAB TO BE PROOF ROLLED TO 98% STANDARD PROCTOR DENSITY PRIOR TO PLACEMENT OF SLAB.

7. ALL AREAS WITHIN THE FOOTPRINT OF THE BUILDING, INCLUDING UTILITY TRENCHES, MUST BE FREE OF ANY WET AND/OR SOFT AREAS PRIOR TO PLACEMENT OF FILL MATERIAL OR SLAB.

8. SEAL UTILITY TRENCH AT THE EXTERIOR FOUNDATION WALL BY USING A COMPACTED CLAYEY BACKFILL OR LEAN CONCRETE TO CREATE A DAM TO PREVENT ENTRY OF WATER.

9. FINISHED GRADE SHALL SLOPE AWAY FROM THE PERIMETER FOUNDATION.

CONCRETE

1. CONCRETE WORK AND TESTING SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301, "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS BELOW. REPORTS FROM TESTS REQUIRED BY SECTION 1.6 OF ACI 301 SHALL BE SUBMITTED TO STRUCTURAL ENGINEER, ARCHITECT, OWNER, CONTRACTOR, CONCRETE SUPPLIER, AND BUILDING OFFICIAL.

2. CONCRETE WORK IN COLD WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 306.1 "STANDARD SPECIFICATION FOR COLD WEATHER CONCRETING" AND ACI 306R "COLD WEATHER CONCRETING".

3. CONCRETE WORK IN HOT WEATHER SHALL CONFORM TO ALL REQUIREMENTS OF ACI 305R "HOT WEATHER CONCRETING". THE AIR TEMPERATURE, RELATIVE HUMIDITY, CONCRETE TEMPERATURE, AND WIND VELOCITY SHALL BE ENTERED INTO THE NOMOGRAPH OF THIS REFERENCE TO DETERMINE IF PRECAUTIONS AGAINST PLASTIC SHRINKAGE ARE REQUIRED.

4. CONCRETE MIX DESIGNS SHALL BE SUBMITTED FOR EACH TYPE OF CONCRETE TO THE STRUCTURAL ENGINEER FOR APPROVAL IN ACCORDANCE WITH ACI 301 SECTION 4.2.3.4 FIELD TEST DATA OR TRIAL MIXTURES.

5. MATERIALS (SEE ALSO CONCRETE MIX SCHEDULE):

   A. REINFORCING STEEL: ASTM A615 OR ASTM 996 (AXLE ONLY) 60 KSI YIELD DEFORMED BARS AND ASTM A1064 MESH, FLAT SHEETS ONLY.
   B. FLY ASH: ASTM C618, TYPE F OR C. FLY ASH-TO-TOTAL CEMENTITIOUS RATIO SHALL NOT EXCEED 25% MAXIMUM.
   C. GROUND GRANULATED BLAST FURNACE SLAG: ASTM C989. TOTAL GROUND GRANULATED BLAST FURNACE SLAG-TO-TOTAL CEMENTITIOUS RATIO SHALL NOT EXCEED 50% MAXIMUM.
   D. HIGH RANGE WATER REDUCER (HRWR) ADMIXTURE: ASTM C494.
   E. CHLORIDE CONTENT OF CONCRETE: LIMIT TOTAL CHLORIDE ION CONTENT TO AMOUNT INDICATED IN TABLE 4.2.2.6 OF ACI 318. ADMIXTURES CONTAINING CHLORIDE ARE NOT PERMITTED IN REINFORCED CONCRETE OR CONCRETE CONTAINING METALS.

6. CONCRETE MIX SCHEDULE:

Application	f'_c @ 28 days (psi)	Air Content[1]	Max w/c ratio[2]	Max Agg. Size[1] (in)	F Class	S Class	W Class	C Class
Footings	3000	N/a	0.55	3/4	F0	S0	W0	C0
Foundation Walls	4500	6% ± 1.5%	0.45	3/4	F2	S0	W1	C1
Interior Floor Slab on Grade[3]	4000	N/a	0.5	3/4	F0	S0	W0	C0

[1] - Where 3/8" maximum aggregate is preferred, adjust air entrainment to 7.5% ± 1.5% (if required).
[2] - Where air entrainment is not required by design, the contractor/supplier may choose to include air entrainment to improve placement or finish characteristics. Air entrainment is not permitted in normal weight concrete to receive a hard trowel finish and entrapped air shall not exceed 3%.
[3] - f'_c = 1800 psi @ 3 days.
[4] - Normal weight aggregate with 8%-18% retained on each sieve. Fly ash not permitted. f'_c = 1800 psi @ 3 days.
[5] - Cortec MCI required.
[6] - f'_c = 3000 psi @ 7 days.
[7] - Entrained air is not required provided walls are painted and exterior paint is maintained by the owner.

7. ALL REINFORCING BARS, EMBEDS, AND ANCHOR RODS SHALL BE PLACED WITHIN THE REQUIRED TOLERANCES AND SUPPORTED TO PREVENT DISPLACEMENT DURING CONCRETE PLACEMENT. WORKING REINFORCING BARS, EMBEDS, AND ANCHOR RODS INTO WET CONCRETE (KNOWN AS "WET STICKING") IS PROHIBITED. IF NECESSARY, CONTRACTOR MAY PROVIDE ADDITIONAL REINFORCING BARS TO SECURELY TIE REINFORCING BARS, EMBEDS, AND ANCHOR RODS.

8. LAP SPLICE REINFORCING BARS 48 BAR DIAMETERS UNLESS NOTED OTHERWISE.

9. BAR CLEARANCES BETWEEN ADJACENT BARS AND FORMWORK SHALL BE AS NOTED ON THE DRAWINGS OR A MINIMUM AS PER ACI REQUIREMENTS.

10. AT CORNERS AND INTERSECTIONS OF FOOTINGS, WALLS, AND GRADE BEAMS, PROVIDE BENT BARS OF EQUAL SIZE AND AT SAME SPACING AS TYPICAL REINFORCING AROUND CORNER AND/OR INTO ABUTTING WALL OR GRADE BEAM. BARS SHALL HAVE EMBEDMENT OF 30 BAR DIAMETERS (18" MINIMUM).

11. MACHINE TROWEL FINISH FLOOR SLAB AND CURE USING A METHOD RECOMMENDED BY ACI 302.1R (GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION) INCLUDING WATER CURING, WET COVERING, APPLICATION OF IMPERVIOUS SHEETING OR APPLICATION OF "CURE AND SEAL" TYPE CURING COMPOUND MEETING ASTM C-1315. FOR APPLICATIONS EXPOSED TO SUNLIGHT USE CLASS A (NON-YELLOWING) CURING COMPOUND. COORDINATE CURING METHOD WITH ARCHITECTURAL FLOOR FINISHES THAT REQUIRE ADHESION TO THE SLAB (SUCH AS TILE) TO INSURE PROPER BOND.

12. FLOOR SLAB-ON-GRADE SHALL CONFORM TO THE FOLLOWING SURFACE PROFILE TOLERANCES PER ASTM E-1155 AND ACI 117:
    F_f(FLATNESS) / F_l(LEVELNESS)

    A. SPECIFIED OVERALL VALUE: 25 / 20
    B. MINIMUM LOCAL VALUE: 18 / 13
    C. MAXIMUM GAP UNDER 10 FT. UNLEVELED STRAIGHTEDGE = 1/4".

13. AT SLAB AND WALL OPENING CORNERS AND REENTRANT CORNERS, PROVIDE (1) #5 BAR IN EACH FACE PARALLEL TO EACH EDGE EXTENDING A MINIMUM OF 2'-0" PAST EDGE OF OPENING. THIS STEEL MAY BE OMITTED IF TYPICAL REINFORCING STEEL EXCEEDS THIS MINIMUM REQUIREMENT.

14. REINFORCE ALL EXTERIOR AND INTERIOR SLABS ON GROUND WITH 6x6-W2.9xW2.9 (42#) MESH. LOCATE MESH 2" CLEAR BELOW TOP OF SLAB.

15. LAP WELDED WIRE FABRIC MINIMUM 1 FULL SPACE PLUS 2".

16. CAST IN CONTINUOUS DOVETAIL ANCHOR SLOTS ON VERTICAL SURFACES WHERE MASONRY ABUTS; 24" ON CENTER FOR PARALLEL SURFACES AND AT CENTERLINE OF MASONRY FOR PERPENDICULAR WALLS.

17. FINISH OF CONCRETE HANDICAP RAMPS TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). COORDINATE LOCATION AND PATTERN WITH ARCHITECTURAL DRAWINGS.

18. CONTROL JOINTS IN SLABS ON GROUND SHALL BE LOCATED AT 10'-0" MAXIMUM SPACING AND SHALL CREATE SECTIONS OF SLAB WITH A MAXIMUM ASPECT RATIO OF 1 1/2 TO 1. CONTROL JOINTS SHALL BE SAWN AND SHALL BE A MINIMUM OF 1/4 OF THE SLAB THICKNESS DEEP. THE CONTROL JOINT SHALL BE SAWN AS SOON AS THE SAW BLADE CAN CUT THE CONCRETE WITHOUT DISPLACING THE AGGREGATE. CUT EVERY OTHER MESH WIRE AT THE CONTROL JOINT LOCATION PRIOR TO PLACING CONCRETE. IF AN EARLY-CUTTING SAW IS BE USED AND A SHALLOWER DEPTH OF THE CUT IS DESIRED, CONTACT THE ENGINEER IN ADVANCE FOR APPROVAL.

19. CONSTRUCTION JOINTS IN SLABS ON GROUND MAY BE LOCATED AT ANY CONTROL JOINT LOCATION. CONSTRUCTION JOINTS SHALL HAVE A KEY FORMED AT MID-DEPTH OF THE FIRST CAST SECTION. THE KEY SHALL BE 1 1/2" DEEP AND SHALL BE 1/3 OF THE SLAB THICKNESS HIGH. THE TOP AND BOTTOM OF THE KEY SHALL HAVE 1 VERTICAL TO 3 HORIZONTAL SLOPE.

20. PROVIDE 3/4" CHAMFER AT CORNERS OF EXPOSED CONCRETE.

EXPANSION AND EPOXY ADHESIVE ANCHORS

1. EPOXY ADHESIVE ANCHORS:

   A. EPOXY ADHESIVE SHALL BE EPCON "CERAMIC 6+" EPOXY MANUFACTURED BY ITW Ramset / Red Head. OR HIT RE 500 V3 EPOXY ADHESIVE MANUFACTURED BY THE HILTI COMPANY. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. SUBSTITUTES MAY BE CONSIDERED; SUBMIT MANUFACTURER'S DATA PRIOR TO INSTALLATION.
   B. THREADED RODS SHALL BE ASTM A36. SIZES AND EMBEDMENT AS INDICATED ON THE DRAWINGS.
   C. CONDUCT JOB-SITE TRAINING OF ALL CONTRACTOR'S PERSONNEL INSTALLING THIS PRODUCT FOR SAFE AND PROPER INSTALLATION, HANDLING, AND STORAGE OF THE EPOXY SYSTEM.

MASONRY

1. MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 602)" EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.

2. COMPRESSIVE STRENGTH SHALL BE DETERMINED FOR EACH TYPE OF MASONRY BY THE UNIT STRENGTH METHOD.

   A. NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY USED FOR DESIGN: f'm = 2000 PSI AT 28 DAYS

3. SUBMITTALS SHALL BE MADE FOR THE FOLLOWING:

   A. COLD WEATHER CONSTRUCTION PROCEDURE.
   B. HOT WEATHER CONSTRUCTION PROCEDURE.
   C. MANUFACTURERS LITERATURE FOR: HORIZONTAL JOINT REINFORCING, REINFORCING STEEL POSITIONERS, MOVEMENT JOINT MATERIALS, TIES AND ANCHORS.
   D. SHOP DRAWINGS SHOWING: DETAILS OF STEEL REINFORCING, AND LINTELS.
   E. MANUFACTURER'S CERTIFICATE OF COMPLIANCE FOR SPECIFIED MASONRY UNIT, AND REINFORCING STEEL.
   F. PROPORTIONS OF MATERIAL IN ACCORDANCE WITH REFERENCED SPECIFICATIONS OF MORTAR AND GROUT.

4. MATERIALS:

   A. CONCRETE MASONRY UNITS: ASTM C90 TYPE I BELOW GRADE: NORMAL WEIGHT AGGREGATE PER ASTM C33.
      a. MINIMUM UNIT COMPRESSIVE STRENGTH, f'_m = 2000 PSI.
   B. MORTAR: ASTM C270 TYPE S, f_m = 1800 PSI AT 28 DAYS.
      a. MASONRY CEMENT MORTAR: AT CONTRACTOR'S OPTION.
   C. GROUT: ASTM C476. f'_c = 2000 PSI, SLUMP 8" TO 10".
   D. REINFORCING STEEL: ASTM A615, 60 KSI YIELD.
   E. HORIZONTAL JOINT REINFORCING FOR SINGLE WYTHE CONCRETE MASONRY: 9 GAUGE LADDER TYPE. HOT DIPPED GALVANIZED PER ASTM A153 CLASS B. PLACE HORIZONTAL JOINT REINFORCING AT 16" CENTERS VERTICALLY FOR CONCRETE MASONRY. LAP HORIZONTAL JOINT REINFORCING 6" MINIMUM. HORIZONTAL JOINT REINFORCING SHALL BE DISCONTINUOUS ACROSS MOVEMENT JOINTS.

5. MORTAR PROPORTIONS MUST BE ACCURATELY MEASURED PRIOR TO MIXING. ADD CEMENT TO MIX IN FULL BAG QUANTITIES. MEASURE SAND IN BOX WITH VOLUME OF ONE CUBIC FOOT AS OFTEN AS NECESSARY TO MAINTAIN CONSISTENT PROPORTIONS AND AT LEAST ONCE DAILY AND EVERY 4 HOURS OF MIXING.

6. MINIMUM VERTICAL REINFORCEMENT REQUIREMENTS FOR ALL MASONRY WALLS.

   A. AS A MINIMUM, ALL MASONRY SHALL BE REINFORCED PER SECTION ACI 530 1.14.2.2.2.1.
   B. #4 VERTICAL BARS SHALL BE PLACED AT ALL CORNERS, WITHIN 16 INCHES OF EACH WALL OPENINGS, WITHIN 8 INCHES OF EACH WALL MOVEMENT JOINT AND WITHIN 8 INCHES OF THE END OF THE WALL.
   C. HORIZONTAL JOINT REINFORCEMENT SHALL BE SPACED AT 16" MAX. WALL OPENINGS SHALL BE REINFORCED TOP AND BOTTOM OF OPENINGS AND SHALL EXTEND NOT LESS THAN 24 INCHES BEYOND PAST THE ROUGH OPENING.
   D. SPACING OF VERTICAL REINFORCEMENT IN EXTERIOR WALLS SHALL NOT EXCEED 2'-8".
   E. SPACING OF VERTICAL REINFORCEMENT IN INTERIOR WALLS SHALL NOT EXCEED 4'-0".

7. RUNNING BOND PATTERN SHALL BE USED FOR ALL MASONRY WORK UNLESS OTHERWISE NOTED.

8. PROVIDE MOVEMENT (CONTROL AND EXPANSION) JOINTS IN WALLS WHERE INDICATED ON ARCHITECTURAL DRAWINGS. BOND BEAMS SHALL BE DISCONTINUOUS ACROSS MOVEMENT JOINTS UNLESS NOTED OTHERWISE:

   A. MOVEMENT JOINTS IN CONCRETE BLOCK: SASH BLOCK UNIT WITH PREFORMED SHEAR KEY. CAULK BOTH FACES. ALTERNATE DETAILS FOR CONTROL JOINTS MAY BE ACCEPTABLE; SUBMIT DETAILS FOR APPROVAL.
   B. PROVIDE BUILDING PAPER BOND BREAK BELOW LINTEL BEARING ADJACENT TO CONTROL JOINTS.

9. UNLESS NOTED OTHERWISE ON PLANS, UNDER LINTELS, BEARING PLATES, BEAMS, ETC.; FILL CELLS WITH GROUT, 3 COURSES MINIMUM BELOW BEARING.

10. ALL REINFORCING STEEL SHALL BE SUPPORTED AND FASTENED TO APPROVED POSITIONERS LOCATED AT 192 BAR DIAMETERS MAXIMUM SPACING AND WITH A MINIMUM OF TWO POSITIONERS PER GROUT POUR (ONE NEAR THE BOTTOM AND ONE NEAR THE TOP) TO PREVENT DISPLACEMENT DURING THE PLACEMENT OF GROUT. ALL REINFORCING BARS MUST BE FULLY GROUTED IN PLACE IN LIFTS NOT TO EXCEED 60 INCHES.

11. BAR LAPS ARE AS FOLLOWS UNLESS OTHERWISE NOTED. MINIMUM BAR LAPS SHALL NOT BE LESS THAN 48 BAR DIAMETERS.

    A. #4 BAR: 24" MINIMUM LAP
    B. #5 BAR: 30" MINIMUM LAP
    C. #6 BAR: 36" MINIMUM LAP
    D. IN DOUBLE REINFORCED CELLS, STAGGER BAR SPLICES ACCORDINGLY SO THAT LAPS DO NOT OCCUR WITHIN THE SAME SECTION ALONG THE HEIGHT OF THE WALL.

12. GROUT ALL CELLS BELOW GRADE SOLID.

STRUCTURAL STEEL

1. ALL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO AISC SPECIFICATIONS FOR "DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", LATEST EDITION.

2. MATERIALS:

   A. ROLLED WIDE FLANGE SHAPES UNLESS NOTED: ASTM A992 DUAL GRADE, F_y = 50 KSI.
   B. ROLLED SHAPES AND PLATES UNLESS NOTED: ASTM A36.
   C. BOLTS: ASTM A325-N, 3/4" DIAMETER UNLESS NOTED.
   D. ANCHOR RODS: ASTM F1554 GRADE 36 KSI MATERIAL FULLY THREADED RODS HAVING A NUT TACK WELDED IN PLACE ON BOTTOM. MINIMUM EMBEDMENT AS NOTED ON THE DRAWINGS.
   E. NON-SHRINK NON-METALLIC GROUT: CRD-C-621 AND ASTM C1107 FOR INTERIOR AND EXTERIOR APPLICATIONS.

WOOD

1. MATERIALS:

   A. FRAMING LUMBER:

      a. 2x8 AND LARGER: NO.1 GRADE OR BETTER SOUTHERN PINE KILN DRIED.
      b. 2x4: STUD GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
      c. 2x6: NO.2 GRADE OR BETTER SPRUCE PINE FIR KILN DRIED.
      d. ACQ-C (ALT CA-B OR SBX-DOT) PRESSURE TREAT PIECES IN CONTACT WITH FOUNDATION OR EXPOSED TO WEATHER.

2. SHEATHING AND SUBFLOORING: 32/16 APA RATED ROOF SHEATHING EXPOSURE 1. ALL SHEATHING TO BE NAILED WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER AT INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. ROOF AND WALL SHEATHING SHALL BE SPACED A MINIMUM 1/8" AT PANEL EDGES AND ENDS OF SHEETS. USE APPROPRIATE PLYWOOD CLIPS AS RECOMMENDED BY THE APA. ALL PLYWOOD SUBFLOORING SHALL BE GLUED AND NAILED.

3. LVL (LAMINATED VENEER LUMBER) BEAMS: DISTRIBUTED AS TRUSS JOIST MACMILLAN, MICRO-LAM OR GEORGIA–PACIFIC CORPORATION, G-P LAM INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

   A. LVL BEAMS SHALL HAVE MINIMUM DESIGN STRESS VALUES AS FOLLOWS:

      a. F_b = 2600 PSI BENDING
      b. F_v = 285 PSI HORIZONTAL SHEAR
      c. F_c = 750 PSI COMPRESSION PERPENDICULAR TO GRAIN
      d. E = 1,900,000 PSI MODULUS OF ELASTICITY

   B. MULTIPLE LVL BEAMS AND HEADERS SHALL BE FASTENED TOGETHER AS FOLLOWS:

      a. 12" AND SMALLER MEMBERS:
         - TWO-PIECE MEMBERS: 2 ROWS OF 16d COMMON NAILS AT 12" ON CENTER.
         - THREE-PIECE MEMBERS: 2 ROWS OF 1/2" DIAMETER BOLTS AT 24" ON CENTER STAGGERED.

      b. 14" AND LARGER MEMBERS:
         - TWO-PIECE MEMBERS – 3 ROWS OF 16d COMMON NAILS AT 12" ON CENTER.
         - THREE-PIECE MEMBERS – 2 ROWS OF 1/2" DIAMETER BOLTS AT 16" ON CENTER STAGGERED.

4. UNLESS NOTED OTHERWISE, CONNECTORS SHALL BE MADE PER TABLE 2304.9.1, "RECOMMENDED FASTENING SCHEDULE", IN REFERENCED BUILDING CODE. STAPLES NOT PERMITTED FOR FASTENING APA RATED SHEATHING AND SUBFLOORING.

5. ALL CONNECTION HARDWARE SPECIFIED ON THE STRUCTURAL DRAWINGS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY AND SHALL BE FASTENED AS SPECIFIED IN THE SIMPSON PRODUCT AND INSTRUCTION MANUAL.

6. FOR WOOD ROOF RAFTERS AND TRUSSES, INSTALL ONE SIMPSON H5 HURRICANE TIE AT EACH MEMBER AT EACH BEARING LOCATION IN ADDITION TO THE TYPICAL NAILING REQUIREMENT IN THE "RECOMMENDED FASTENING SCHEDULE".

7. BRIDGING IN ALL FLOOR AND CEILING JOISTS, INCLUDING MANUFACTURED WOOD I-JOISTS, SHALL BE 1"x3" CROSS BRIDGING (DOUBLE NAILED) AT 8'-0" ON CENTER MAXIMUM.

SCHEDULE OF SPECIAL INSPECTION SERVICES

Expansion / Adhesive Anchors
Agent:
- Periodic Inspection of post installed anchor rods:
- Verify the embedment depths and drilling procedure used to create hole.
- Verify that hole has been cleaned and dust removed properly.
- Document outside temperature and installation method use to install the epoxy adhesive.

Inspection of Concrete Construction per Section 1705.3
Agent:
- Periodic Inspection of reinforcing steel size, spacing and placement, (Including pre-stressing tendons) per ACI 318: Chapters 3.5, 7.1-7.7. (Ref. Code Section 1901)
- Scope to include:
- Reviewing and documenting the size, grade, spacing and clearance of all embedded reinforcing bars prior to placement of concrete.
- Verify bars are free of dirt and excessive rust, oil, or damage of any kind.
- Verify specified lap splices in field with information on the drawings.
- Verify method of bar support and ties.
- Verify the use of epoxy coating if applicable.
- Periodic Verification of the use of the required design mix per project specifications per ACI 318: Chapters 4, 5.2-5.4. (Ref. Code Section 1904.2, 1910.2,1910.3).
- Continuous sampling of fresh concrete and performing slump, air content and determining the temperature of fresh concrete at the time of making specimens for strength tests per ASTM C 172, ASTM C 31 & ACI 318: Chapters 5.6 & 5.8. (Ref. Code Section 1910.10).
- Minimum frequency (1910.10) Samples for strength tests of each class of concrete shall be taken at least once per shift, but not less than one sample for each 50 cubic yards placed.
- Continuous Inspection of concrete placement for proper application techniques per ACI 318: Chapters 5.9 & 5.10. (Ref. Code Section 1910.6, 1910.7, 1910.8).
- Verify the application of Cold Weather concrete and or Hot Weather concrete techniques per ACI 318: Chapters 5.12-5.13.
- Periodic Inspection for maintenance of specified curing and temperature and techniques per ACI 318: Chapters 5.11 - 5.13. (ref. Code Section 1910.9).
- Curing of concrete shall be maintained above 40-degree F and in a moist environment for seven days after placement or cured by (1910.9) accelerated means that comply with ACI 318, section 5.11.3.
- Periodic Inspection of Formwork construction: (This inspection is not to address the means or methods of forming / shoring but to verify the geometry affecting the structural integrity of such form).
- Verify size and dimensions of structural members being formed.
- Verify intent, configuration, and location of specified structural member being formed.
  a. Verify the application of any field applied structural topping, and in-situ concrete strength.
     - Periodic Inspection of post-tensioned cast in place concrete.
  b. Verification of in-situ concrete strength, prior to stressing of tendons in post tensioned concrete and prior to removal of shoring and forms from beams and elevated structural slabs per ACI 318: Chapter 6.2.

Inspection of Masonry Construction per Section 1705.4
Agent:
- Periodic verification for compliance with approved submittals.
- Periodic verification of f'm and f'ACC prior to construction and for every 5,000 SF during construction.
- Periodic verification of proportions of materials in premixed or preblended mortar, prestressing grout, and grout other than self-consolidating grout, as delivered to the project site.
- Periodic verification of Slump Flow and Visual Stability Index (VSI) of self-consolidating grout as delivered to the project.
- Periodic verification of site prepared mortar, mortar strength evaluation and the construction of mortar joints.
- Periodic verification and location of structural reinforcement per ACI 530/ASCE 5/TMS 602: Article 3.3b.
- Periodic verification of size and location of structural elements; type, size, and location of anchors; including details of anchorage of masonry to structural steel members, frames, or other construction per ACI 530/ASCE 5/TMS 602.
- Periodic verification of specified size, grade, and type of reinforcement per ACI 530/ASCE 5/TMS 602: Article 2.4, 3.4. (Ref. Code Section 2107).
- Periodic verification of protection of masonry during cold weather (temperature below 40 degrees Fahrenheit) or hot weather (temperature above 90 degrees Fahrenheit) per ACI 530.1/ASCE 6/TMS 602: Article 1.8. (Ref. Code Section 2104.3 & 2104.4).
- Periodic verification prior to grouting that grout space is clean and correct proportions of site prepared grout are present per ACI 530/ASCE 5/TMS 602: Article 2.6 & 3.2.
- Periodic verification of the placement of reinforcing steel, connectors, prestressing tendons, and anchorages per ACI 530/ASCE 5/TMS 602: Article 3.4.
- Continuous inspection of structural masonry beams consisting of vertical reinforcement grouted within the cells of the blocks. Verify that size, depths, and placement of all structural steel is properly positioned prior to grouting.
- Verification that grout is placed in compliance with code and construction documents per ACI 530/ASCE 5/TMS 602: Article 3.5. Randomly check sections of wall for required grouted cells and grouted bond beams for the placement of grout.

Inspection of Wood Construction per Section 1705.5
Agent:
- Special inspections of the fabrication process of wood structural elements shall be in accordance with Section 1704.2.5.
- Periodic Inspection of wood framed joint details for compliance with approved construction documents for:
  a. Details such as bracing and stiffening of wood trusses.
  b. Member locations and supports.
  c. Verification of member grade and specie.
  d. Application of joint details at each connection.
  e. Grades, thickness, and fastening of APA rated wood sheathing.
  f. Installation of seismic hold down anchors and connections to the structural framing.
  g. Verify nominal size of framing members at adjoining panel edges, nail or staple diameter and length, number of fastener lines, and that spacing between fasteners in each line and at edge margins for all diaphragms.
  h. Verify temporary and permanent restraint/bracing are installed for metal-plate-connected wood trusses spanning 60 feet or greater.

Inspection of Soil Conditions per Section 1705.6
Agent:
- Evaluation of site preparation in accordance with the approved soils report or as specified on the contract documents.
- Confirm existing soils load-bearing capacity with requirements of the approved soils report or as specified on the contract documents.
- Verification that the material being used, and the maximum lift thickness comply with the approved soils report or as specified on the contract documents.
- Evaluation of in-place-density, the special inspector shall determine that the in-place-density of the existing soils and compacted fill complies with the approved soils report or as specified on the contract documents.

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Cincinnati, Ohio 45206
Ph: (513) 396-8900

Structural Consultants
ADVANTAGE GROUP
ENGINEERS, INC.

#	REVISION/SUBMISSION	Date

PCA ARCHITECTURE
CCFC ANIMAL SHELTER
1989 POPLAR RIDGE RD
MELBOURNE, KY

DRAWING TITLE: GENERAL STRUCTURAL NOTES

Seal:
STATE OF KENTUCKY
ROBIN R. HAHN
PE-15073
LICENSED PROFESSIONAL ENGINEER
10.5.2022

Proj. No.: 22101.35
Design Team: RRH /JDM/JPB
Date: 09/28/2022
Drawing No.
S001

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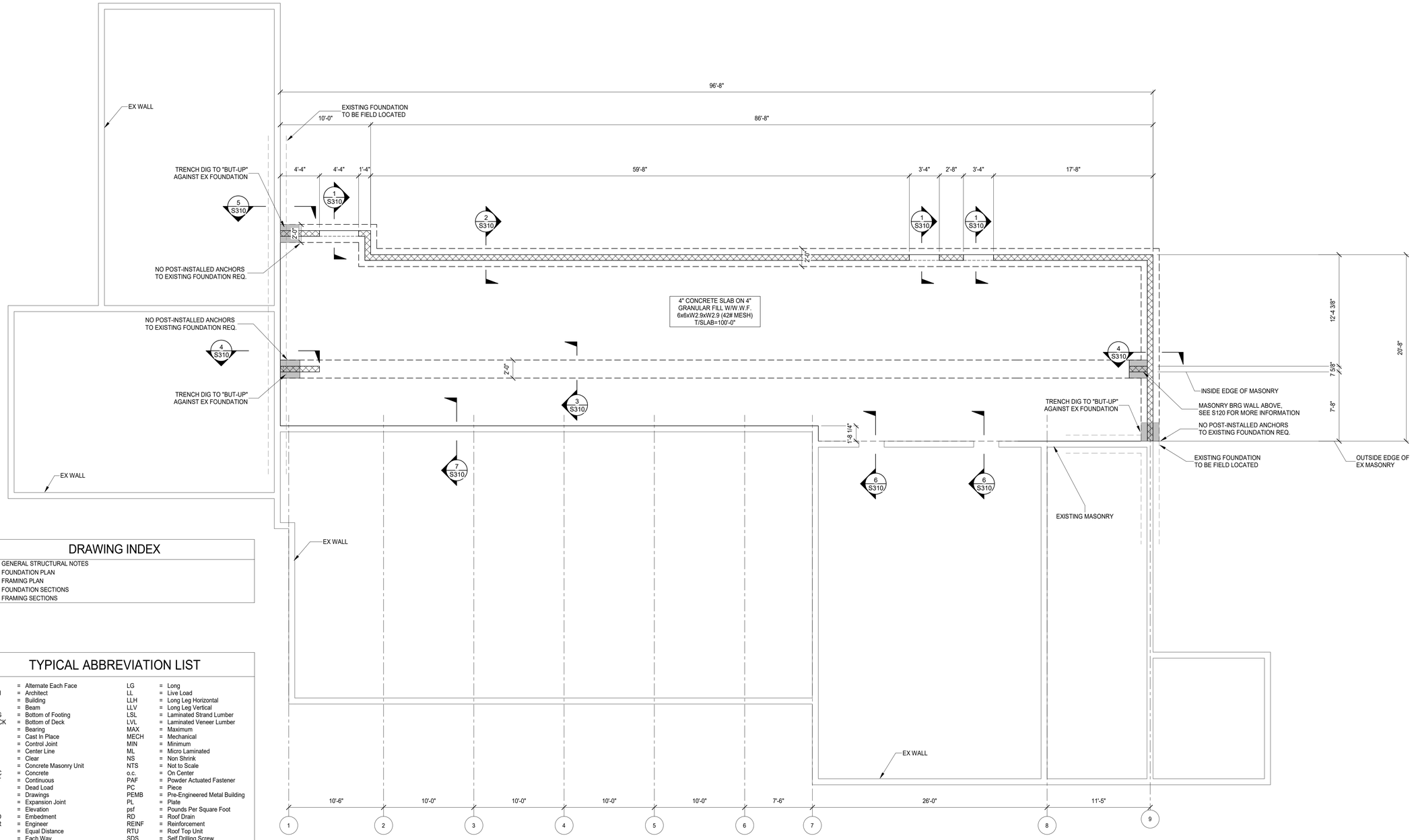

DRAWING INDEX

TYPICAL ABBREVIATION LIST

AEF	=	Alternate Each Face	LG	=	Long
ARCH	=	Architect	LL	=	Live Load
BLDG	=	Building	LLH	=	Long Leg Horizontal
BM	=	Beam	LLV	=	Long Leg Vertical
B/FTG	=	Bottom of Footing	LSL	=	Laminated Strand Lumber
B/DECK	=	Bottom of Deck	LVL	=	Laminated Veneer Lumber
BRG	=	Bearing	MAX	=	Maximum
CIP	=	Cast In Place	MECH	=	Mechanical
CJ	=	Control Joint	MIN	=	Minimum
CL	=	Center Line	ML	=	Micro Laminated
CLR	=	Clear	NS	=	Non Shrink
CMU	=	Concrete Masonry Unit	NTS	=	Not to Scale
CONC	=	Concrete	o.c.	=	On Center
CONT	=	Continuous	PAF	=	Powder Actuated Fastener
DL	=	Dead Load	PC	=	Piece
DWG	=	Drawings	PEMB	=	Pre-Engineered Metal Building
EJ	=	Expansion Joint	PL	=	Plate
EL	=	Elevation	psf	=	Pounds Per Square Foot
EMBD	=	Embedment	RD	=	Roof Drain
ENGR	=	Engineer	REINF	=	Reinforcement
EQ	=	Equal Distance	RTU	=	Roof Top Unit
EW	=	Each Way	SDS	=	Self Drilling Screw
EF	=	Each Face	SF	=	Step Footing
EX	=	Existing	SW	=	Step Wall
EXT	=	Exterior	SB	=	Solid Bearing
FTG	=	Footing	SCH	=	Schedule
FND	=	Foundation	SIM	=	Similar
ga	=	Gauge	STL	=	Steel
GALV	=	Galvanized	SRD	=	Secondary Roof Drain
GC	=	General Contractor	T/FTG	=	Top Of Footing
GRAN	=	Granular	TS	=	Tube Steel
HORZ	=	Horizontal	TYP	=	Typical
HD	=	Hold Down Anchor	UNO	=	Unless Noted Otherwise
HSS	=	Hollow Structural Section	VERT	=	Vertical
k	=	Kips	WWF	=	Welded Wire Fabic
ksf	=	Kips Per Square Foot	WF	=	Wide Flange
lbs	=	Pounds	WP	=	Work Point

NOT ALL ABBREVIATIONS APPLY. INCLUDED FOR REFERENCE ONLY.

FOUNDATION PLAN

SCALE 3/16" = 1'-0"

NORTH

PLAN NOTES:

1. COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.

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#	REVISION/SUBMISSION	Date

PCA ARCHITECTURE

CCFC ANIMAL SHELTER

1989 POPLAR RIDGE RD
MELBOURNE, KY

DRAWING TITLE: FOUNDATION PLAN

Seal:

COMMONWEALTH OF KENTUCKY
ROBIN R. HAHN
PE.26673
LICENSED PROFESSIONAL ENGINEER

10.5.2022

Proj. No.:	22101.35
Design Team:	RRH /JDM/JPB
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Drawing No.

S110

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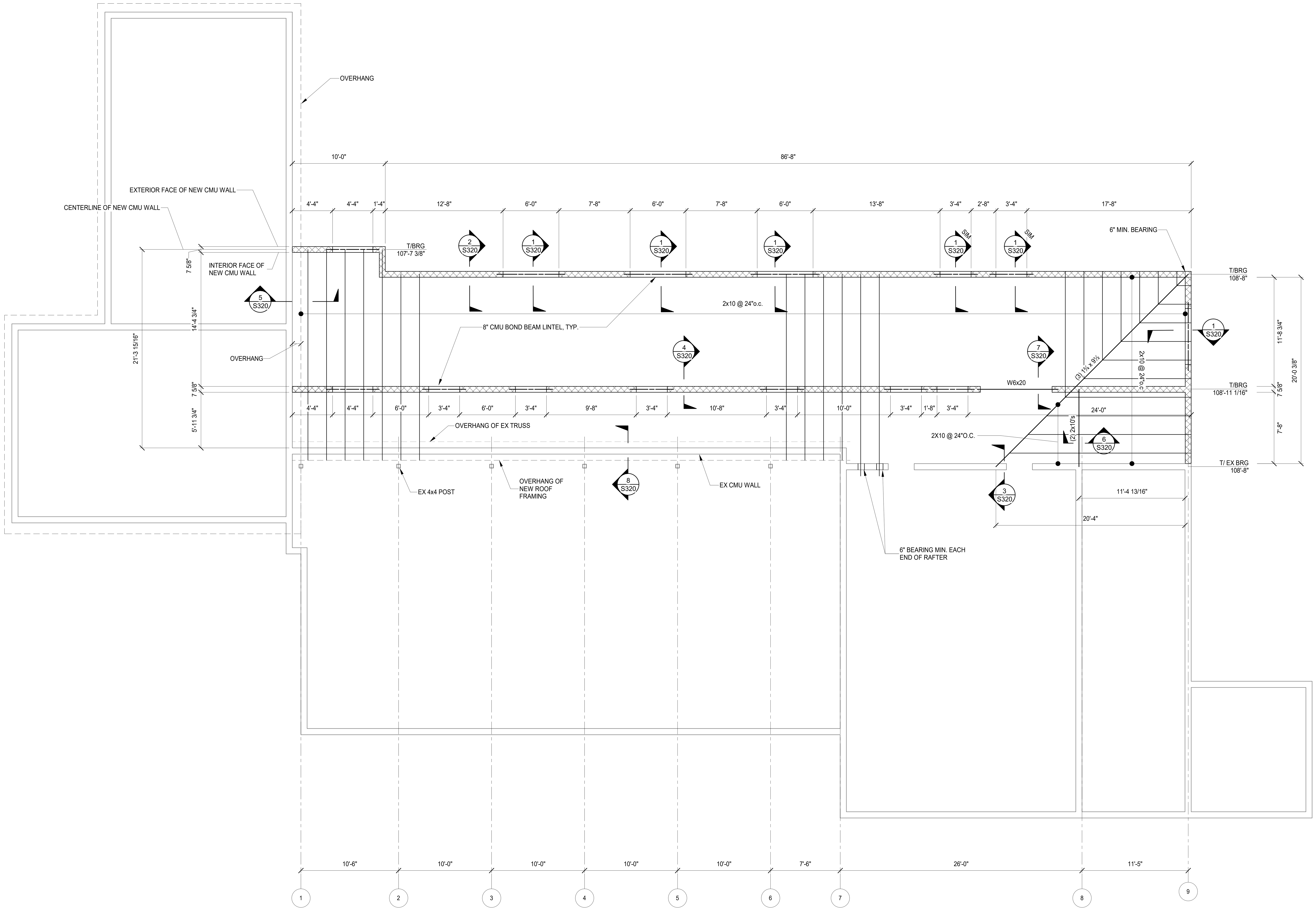

FRAMING PLAN

SCALE 3/16" = 1'-0"

NORTH

PLAN NOTES:

1. COORDINATE ALL DIMENSIONS, DOOR AND WINDOW LOCATIONS WITH ARCHITECTURAL DRAWINGS.
2. ► = MOMENT CONNECTION.

1527 Madison Road
Cincinnati, Ohio 45206
Ph: (513) 396-8900

Structural Consultants
ADVANTAGE GROUP
ENGINEERS, INC.

#	REVISION/SUBMISSION	Date

PCA ARCHITECTURE

CCFC ANIMAL SHELTER

1989 POPLAR RIDGE RD
MELBOURNE, KY

DRAWING TITLE: FRAMING PLAN

Seal:

STATE OF KENTUCKY
ROBIN R. HAHN
PE-15873
LICENSED
PROFESSIONAL ENGINEER

[illegible]

10.5.2022

Proj. No.:	22101.35
Design Team:	RRH /JDM/JPB
Date:	09/28/2022
Drawing No.	

S120

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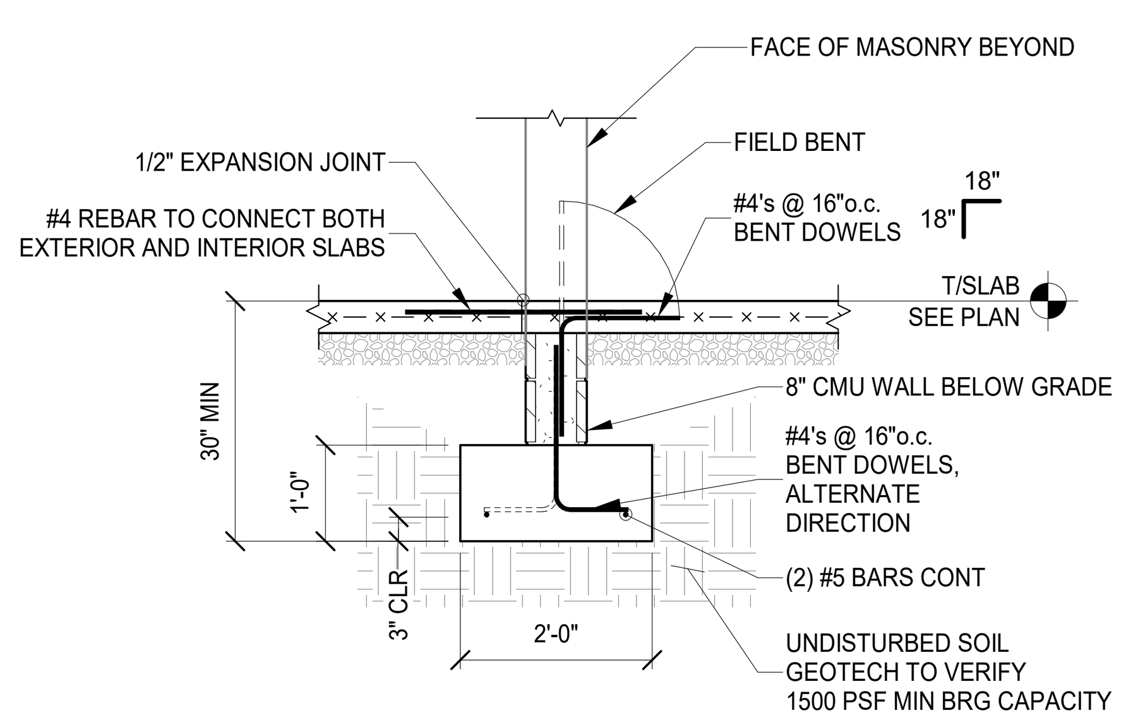
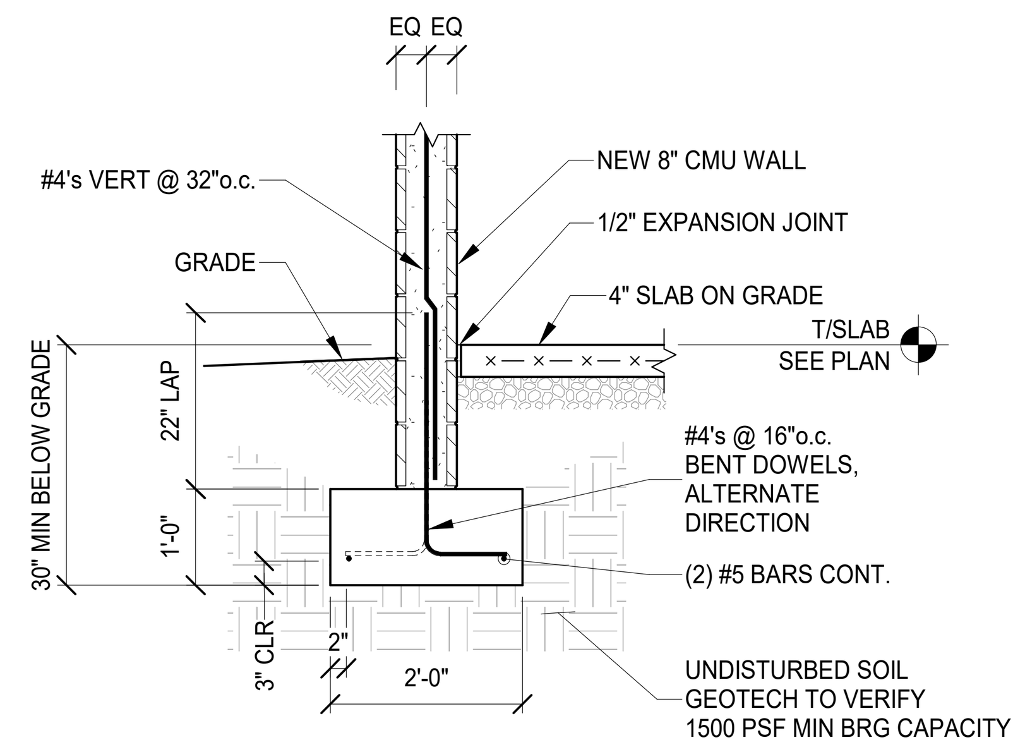
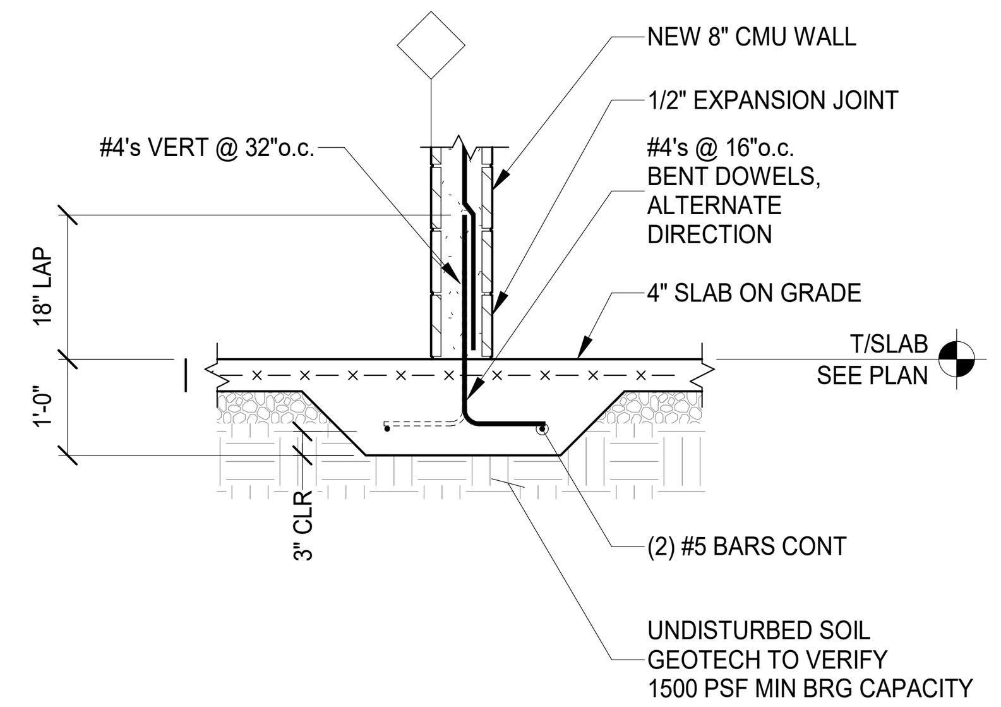


SECTION 1
SCALE 1/2" = 1'-0" S310



SECTION 2
SCALE 1/2" = 1'-0" S310



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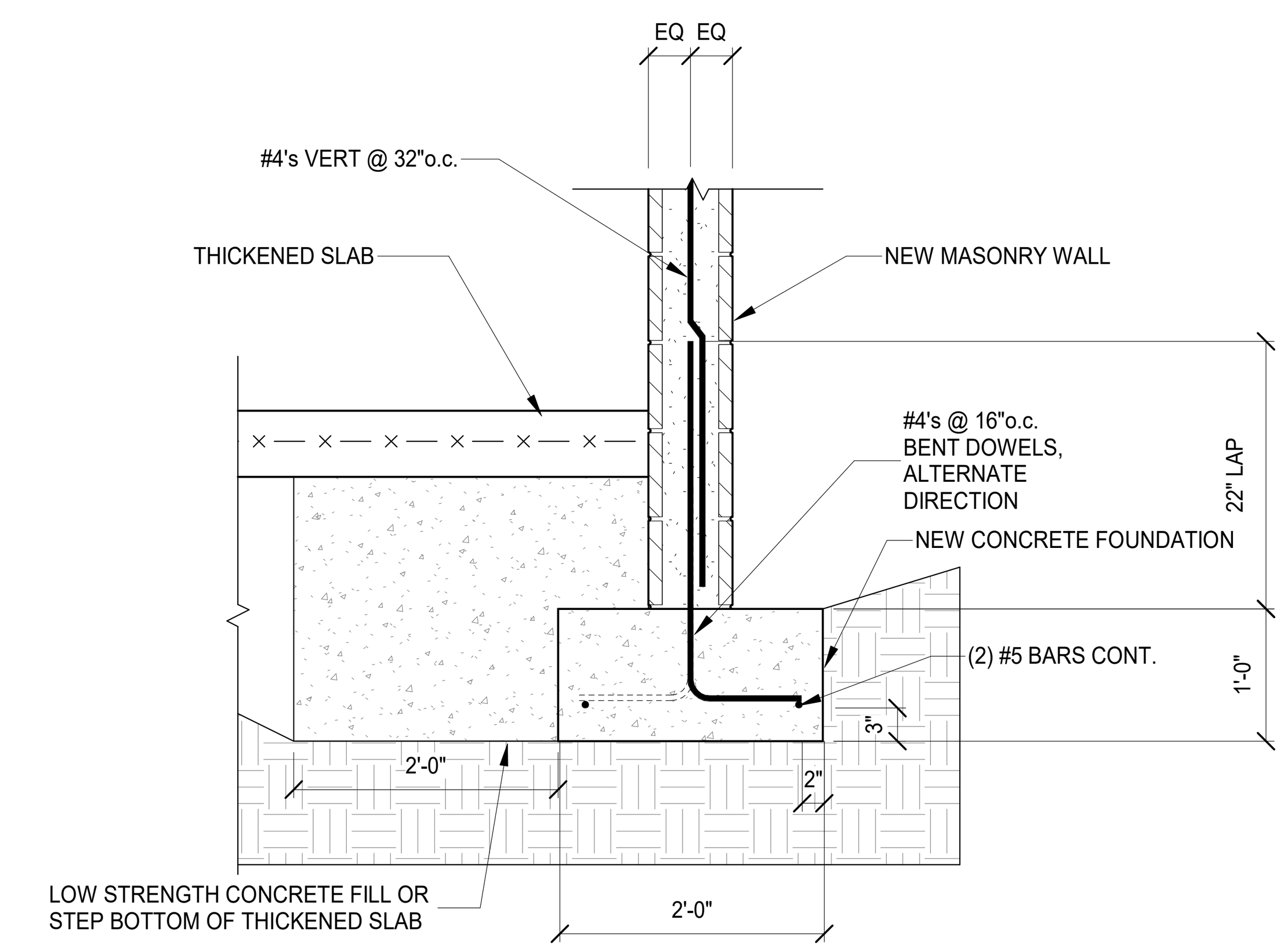

SECTION 4
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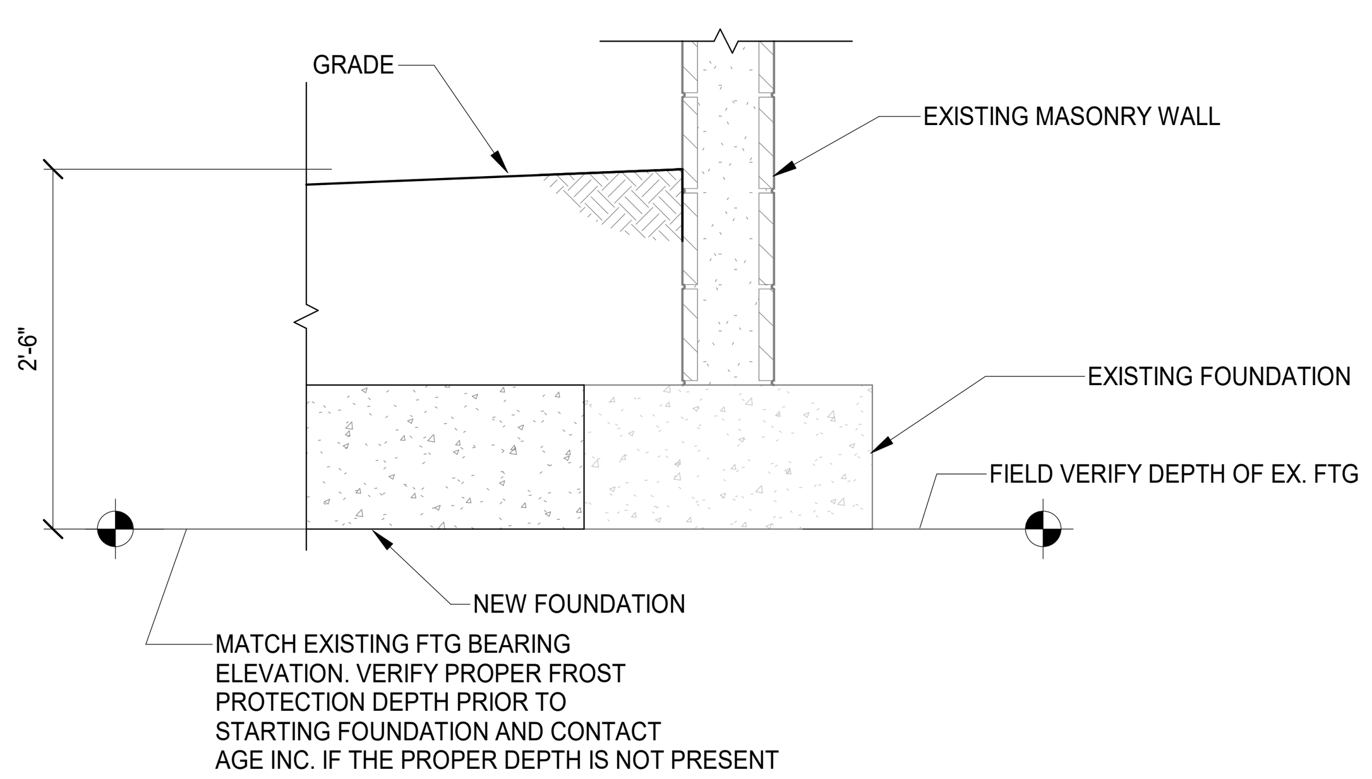
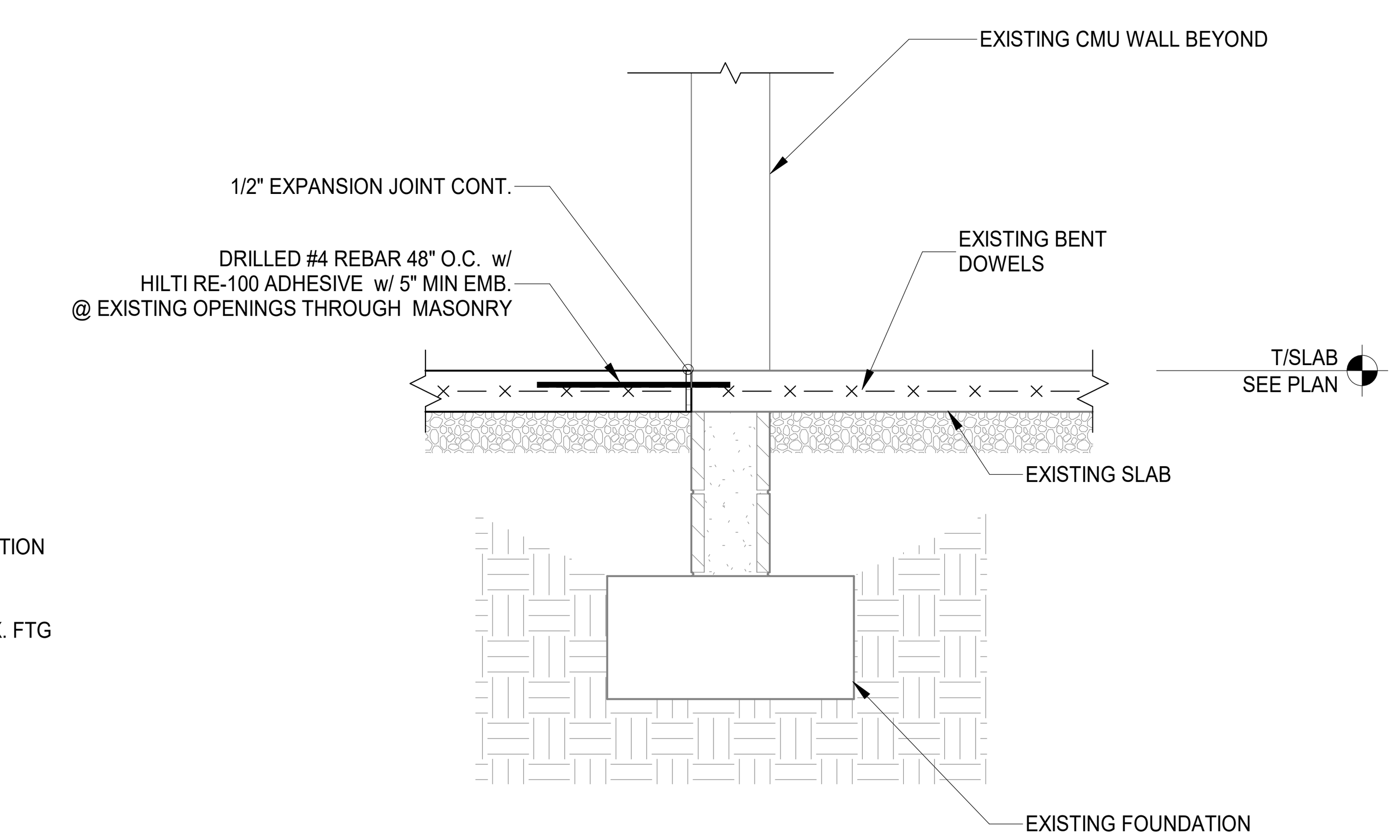


SECTION 5
SCALE 3/4" = 1'-0" S310



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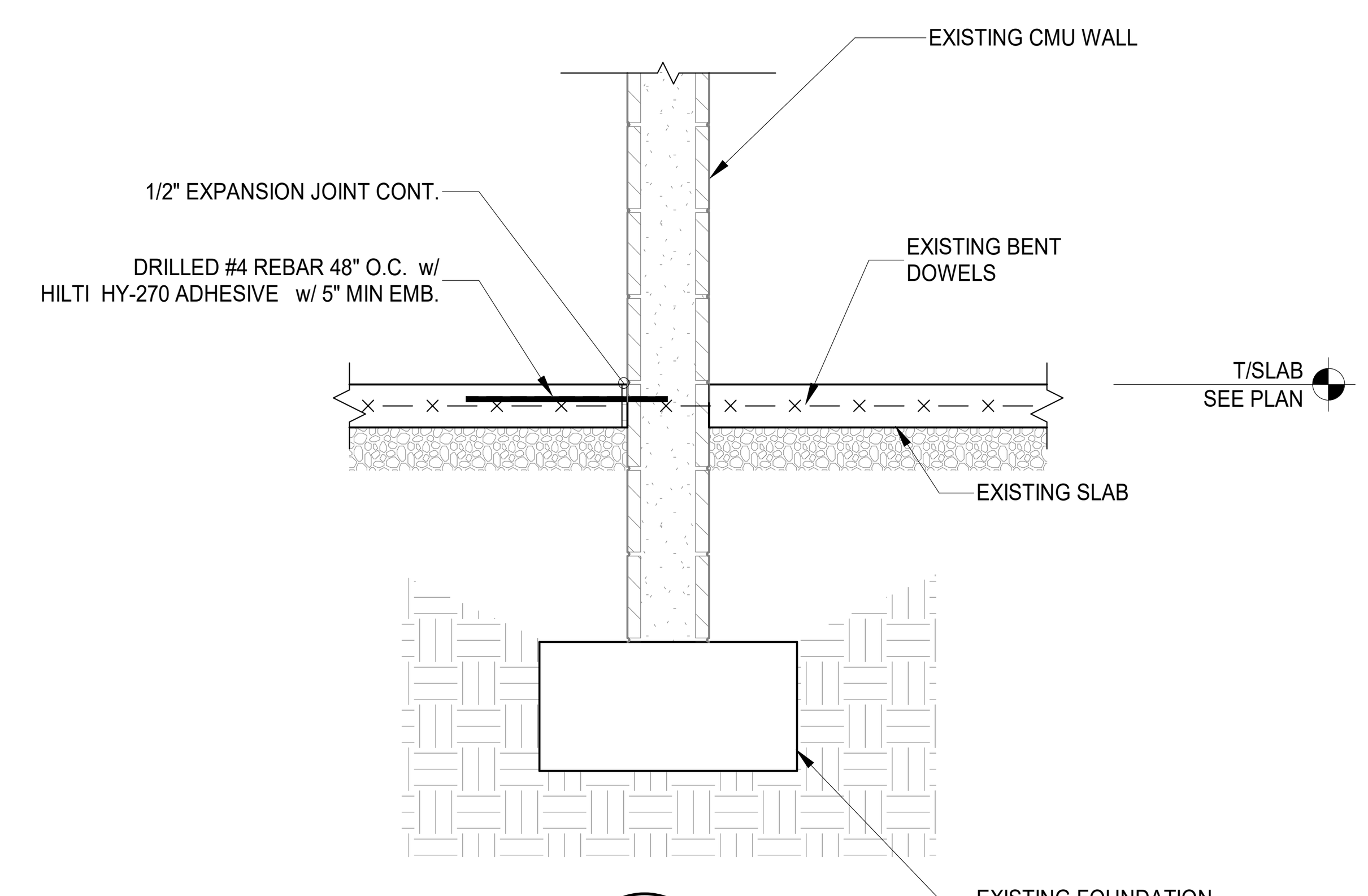
SCALE 3/4" = 1'-0" S310



SECTION 7
SCALE 3/4" = 1'-0" S310

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#	REVISION/SUBMISSION	Date

PCA ARCHITECTURE

CCFC ANIMAL SHELTER

1989 POPLAR RIDGE RD
MELBOURNE, KY

DRAWING TITLE: FOUNDATION SECTIONS

Seal:

STATE OF KENTUCKY
ROBIN R.
HAHN
PE-15873
LICENSED
PROFESSIONAL ENGINEER
10.5.2022

Proj. No.:	22101.35
Design Team:	RRH /JDM/JPB
Date:	09/28/2022

Drawing No.

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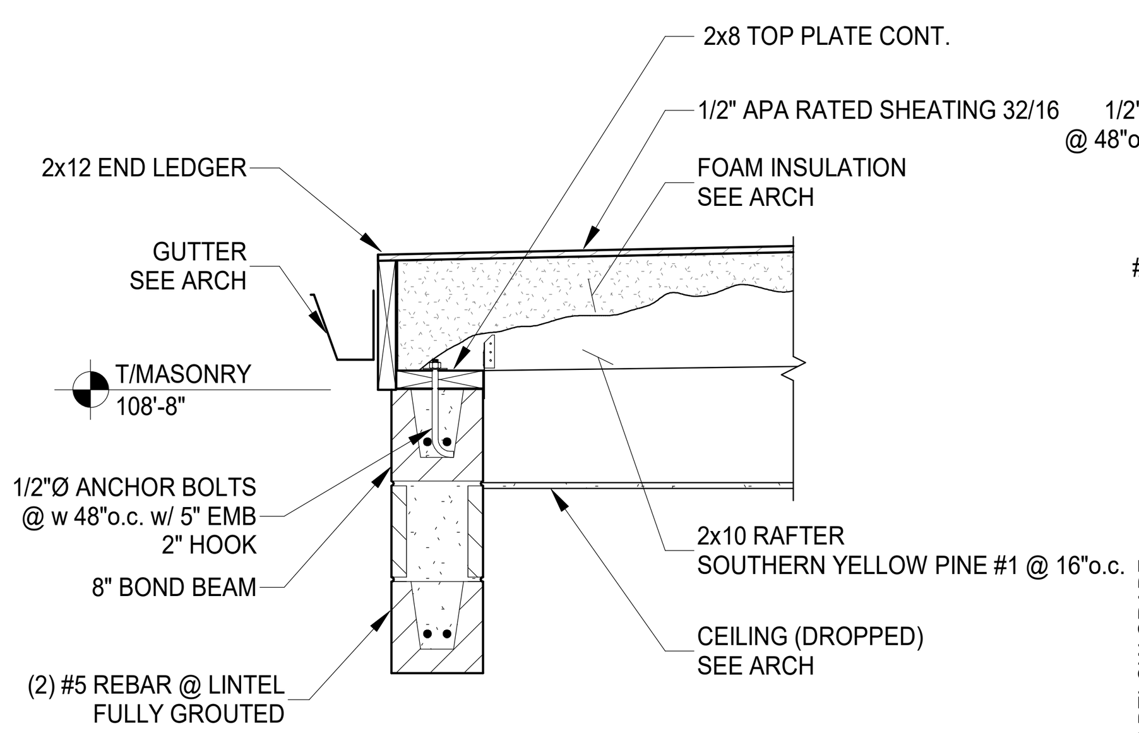

SECTION 1
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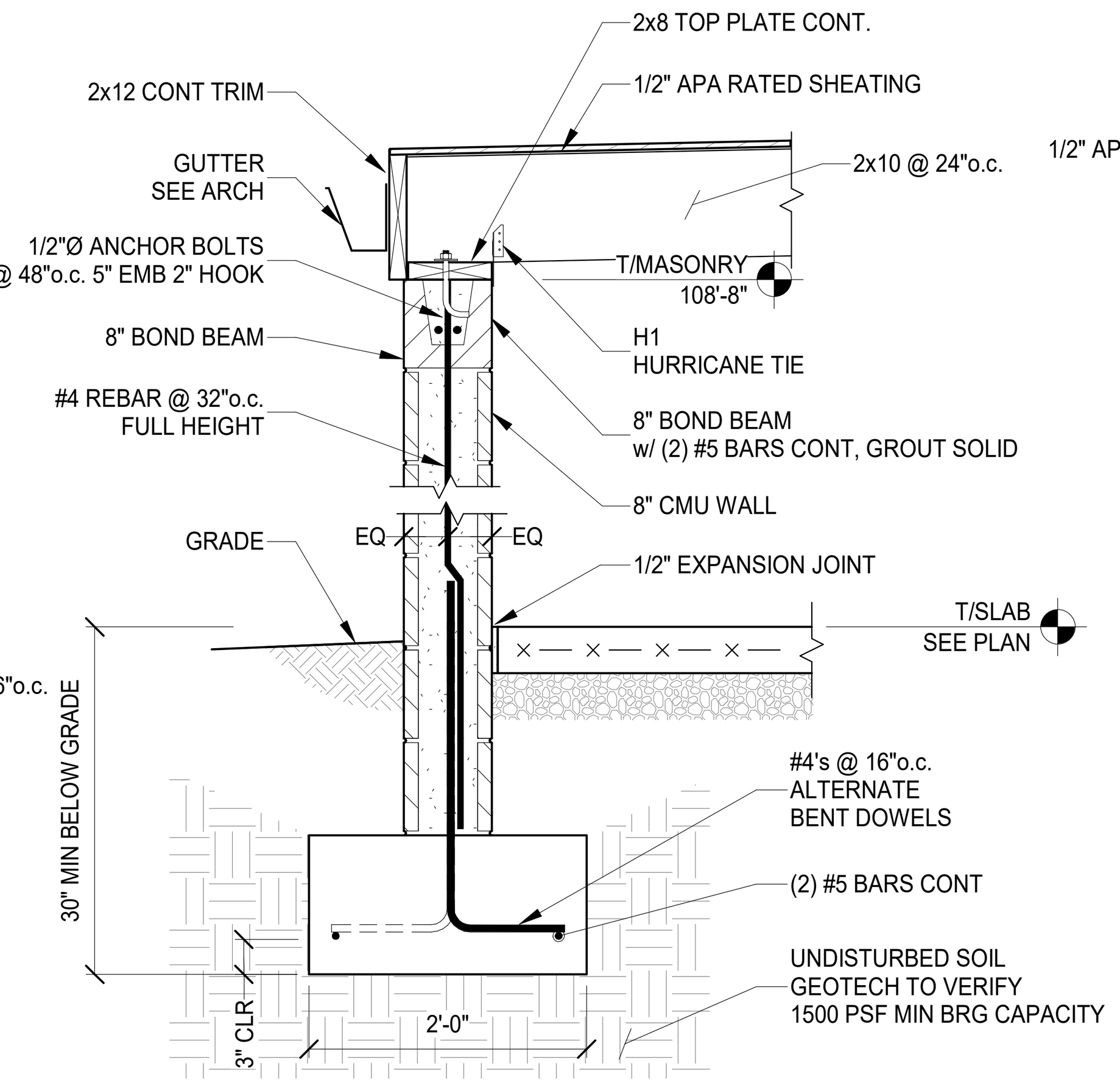

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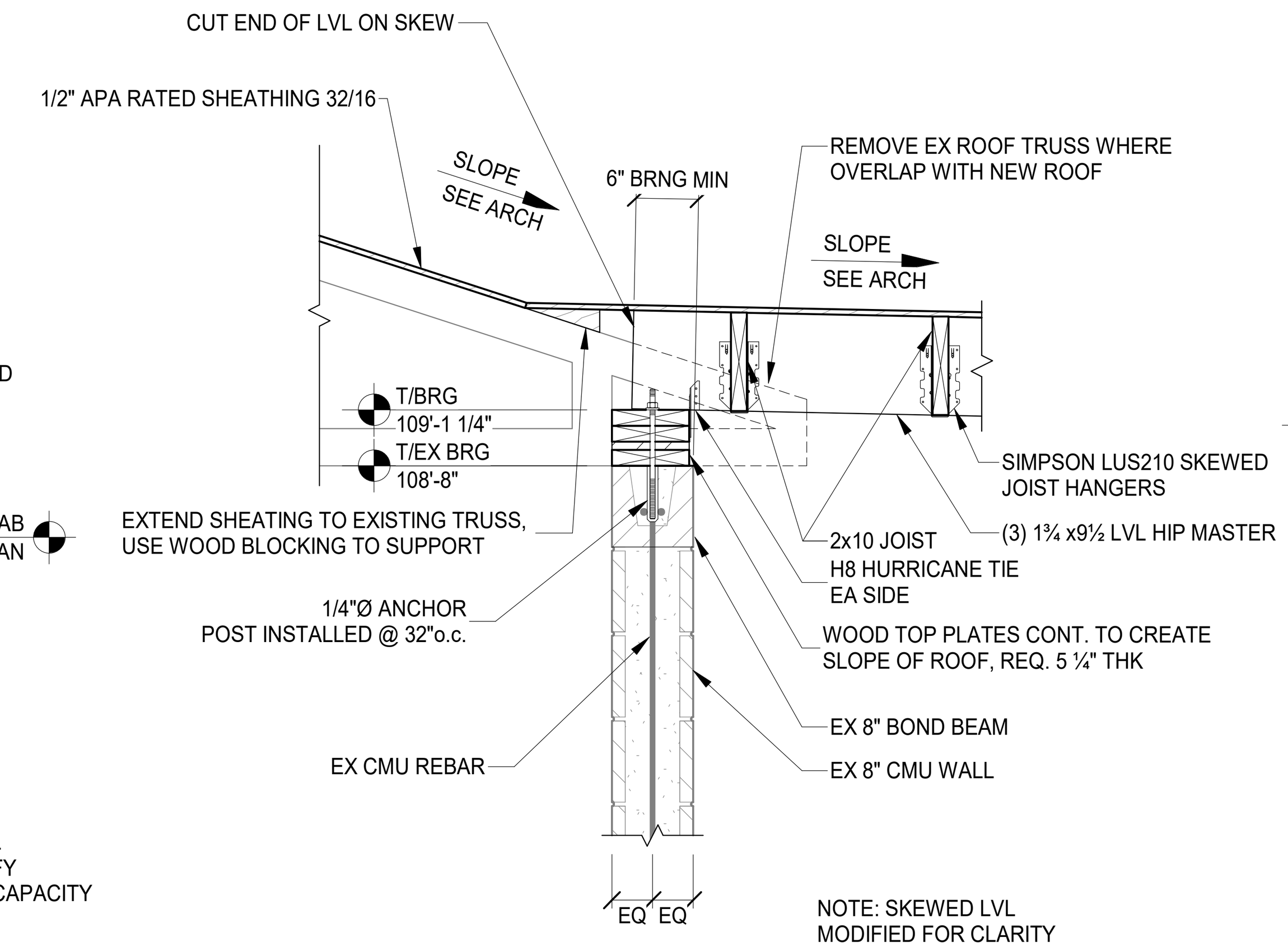

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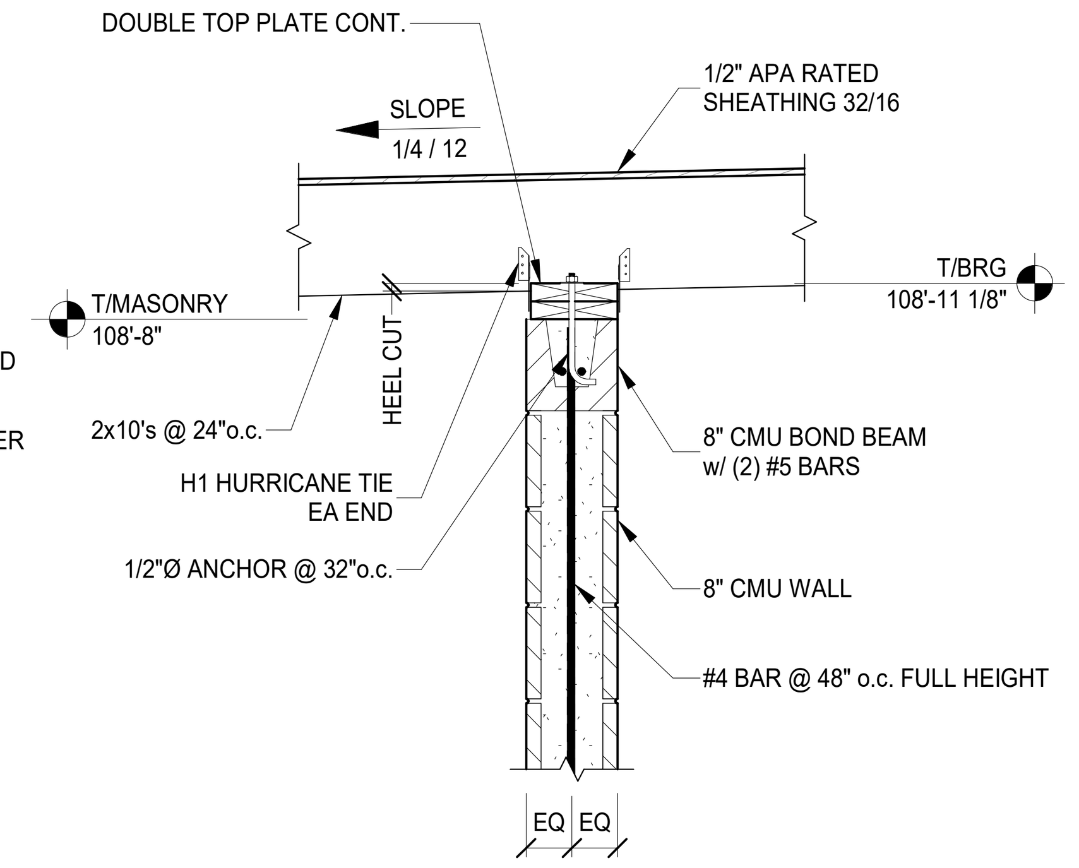

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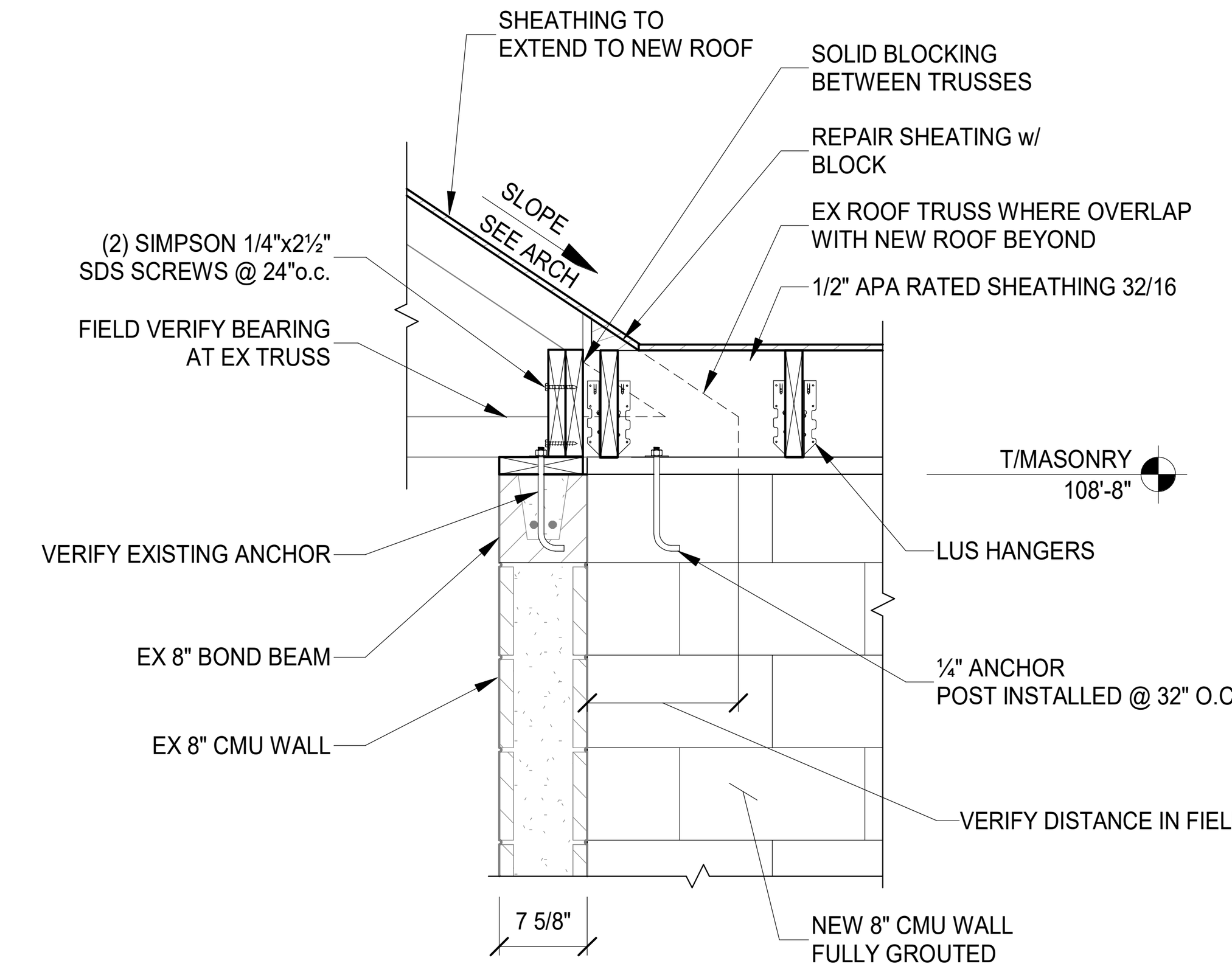
SCALE 3/4" = 1'-0" S320



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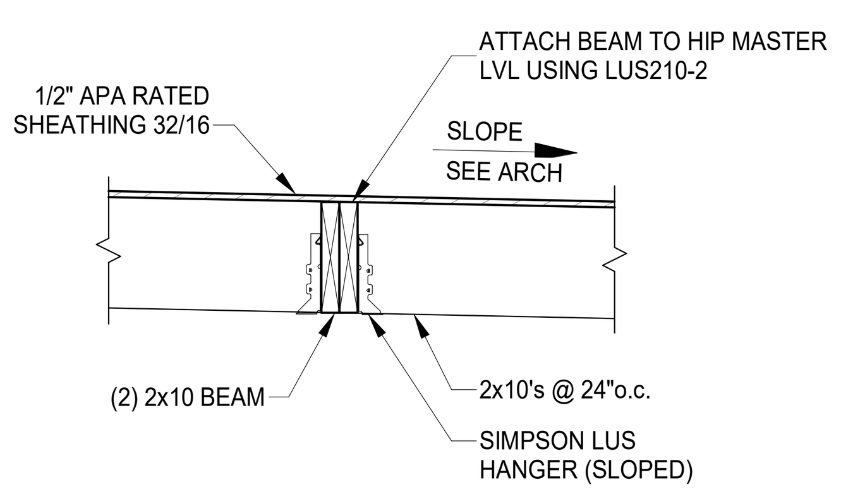
SCALE 3/4" = 1'-0" S320



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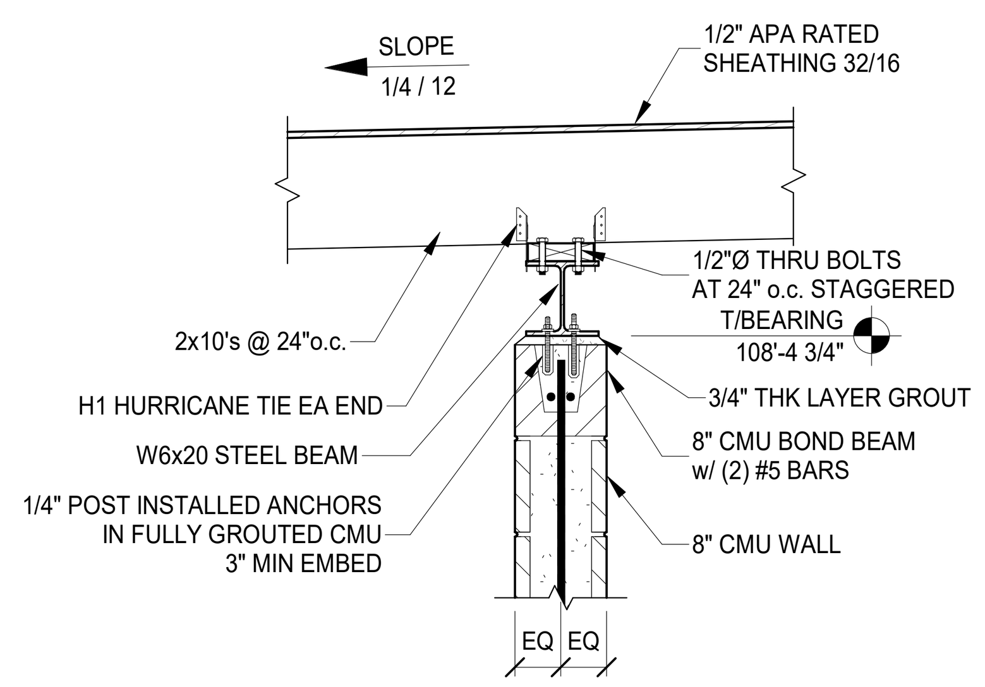

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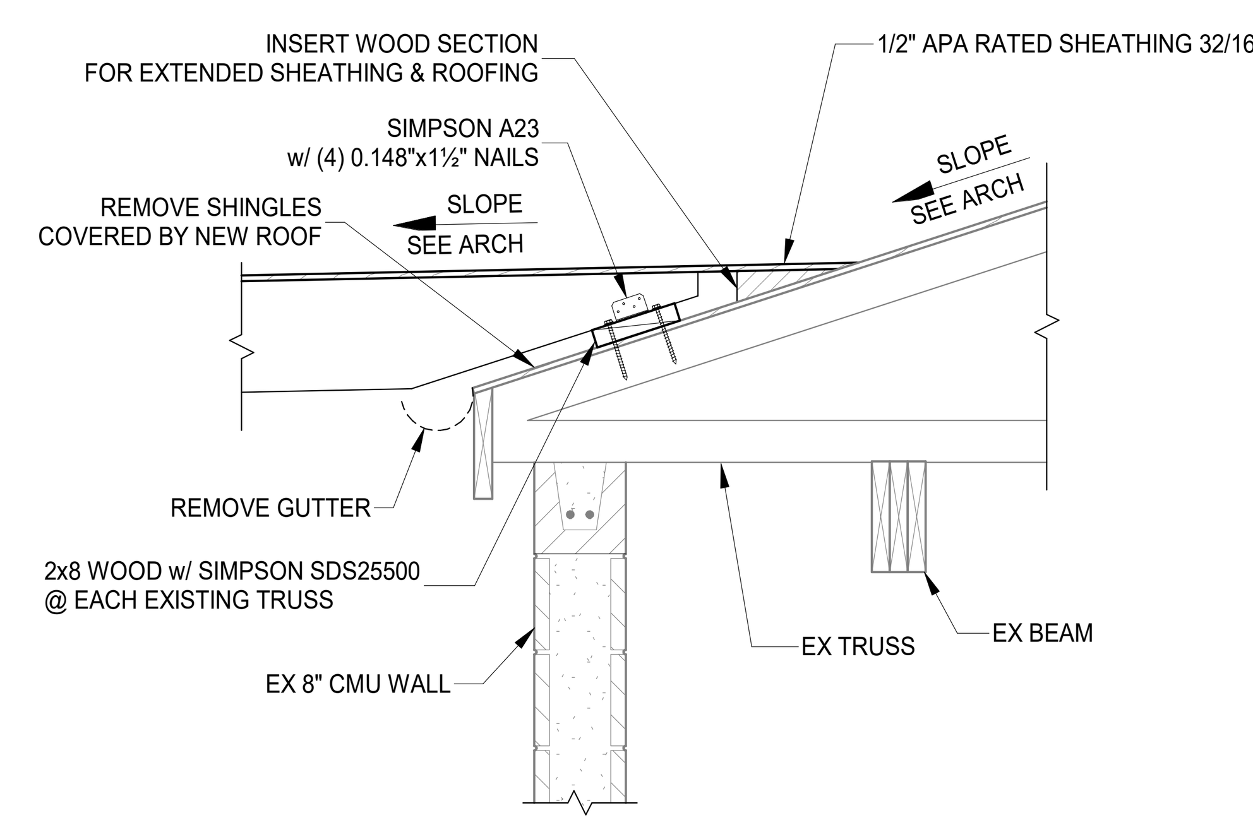

SECTION 8
SCALE 3/4" = 1'-0" S320

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#	REVISION/SUBMISSION	Date

PCA ARCHITECTURE

CCFC ANIMAL SHELTER

1989 POPLAR RIDGE RD
MELBOURNE, KY

DRAWING TITLE: FRAMING SECTIONS

Seal:

STATE OF KENTUCKY
ROBIN R.
HAHN
PE-15673
LICENSED
PROFESSIONAL ENGINEER

10.5.2022

Proj. No.:	22101.35
Design Team:	RRH /JDM/JPB
Date:	09/28/2022

Drawing No.

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WALL TYPES

A3.2: 5/8" GYPSUM BOARD (BOTH SIDES) OVER 3-5/8" x 20 GA. METAL STUDS AT 16" O.C. PARTITION SHALL EXTEND 6" ABOVE FINISH CEILING.
M1: 4" CMU WALL WITH HORIZONTAL REINFORCING AT 16" O.C. VERTICALLY.
M3: 8" CMU WALL WITH HORIZONTAL REINFORCING AT 16" O.C. VERTICALLY.

GENERAL MEP NOTES

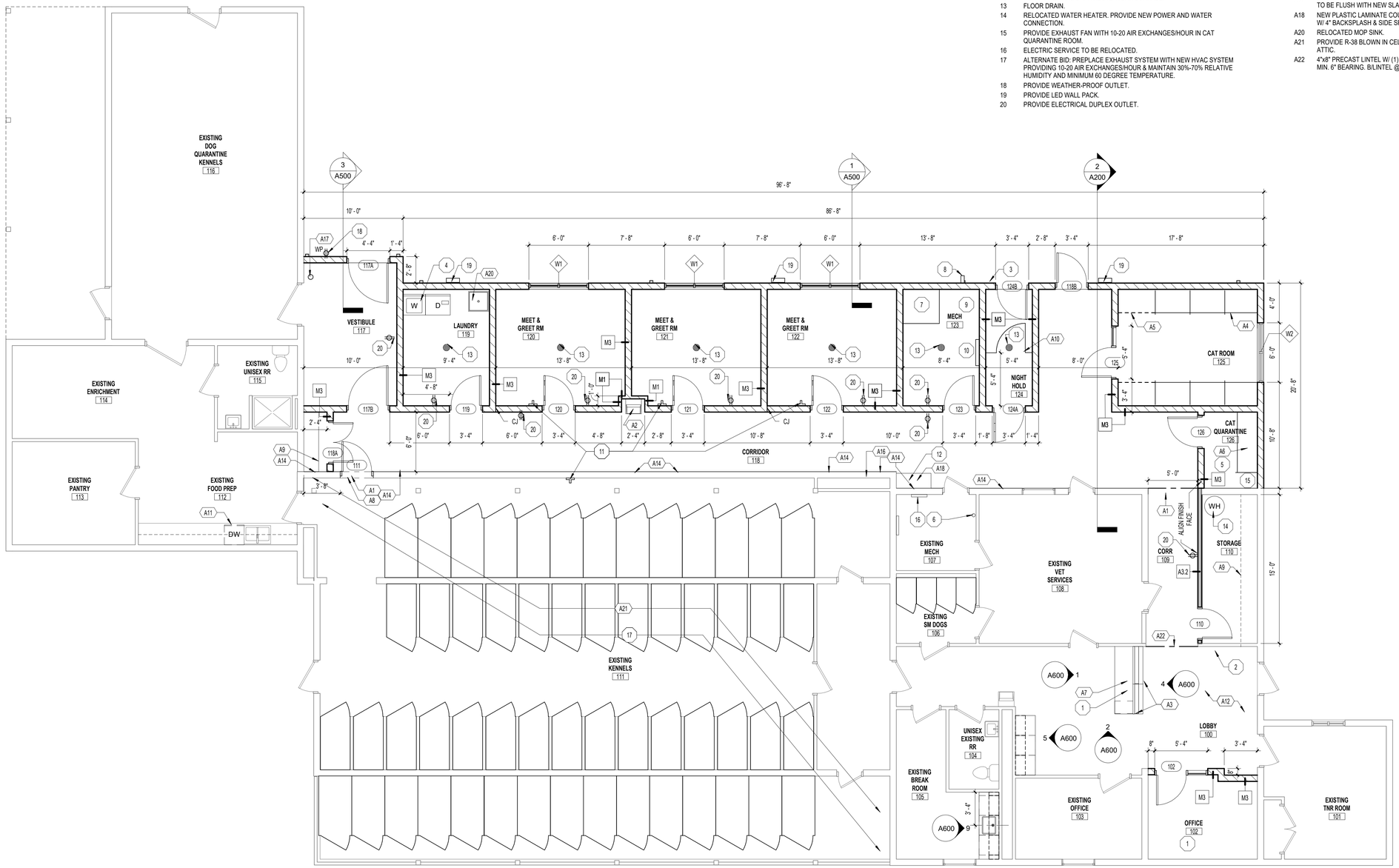
A. PROVIDE NEW 20 AMP CIRCUIT AT EXISTING LOBBY FOR MORE POWER
B. PROVIDE HOT AND COLD SPIGOTS, AS INDICATED BY OWNER IN FIELD.

FLOOR MEP PLAN CONSTRUCTION NOTES

1 NEW POWER AND DATA FOR TWO WORK STATIONS
2 NEW POWER AND DATA FOR INFORMATIONAL MONITOR.
3 NIGHT HOLD SHALL HAVE REPROGRAMMABLE ACCESS CONTROLS.
4 PROVIDE NEW GAS AND ELECTRIC FOR EXISTING WASHER & DRYER RELOCATED BY OWNER. DRYER EXHAUST TO EXTERIOR.
5 NEW EXHAUST FAN TO EXTERIOR.
6 EXISTING WATER SERVICE TIED TO NEW SERVICE.
7 PROPANE GAS FURNACE W/ HEAT PUMP.
8 EXTERIOR HOSE BIBB.
9 RELOCATED WATER SERVICE.
10 RELOCATED ELECTRIC SERVICE.
11 TIE INTO EXISTING CHEMICAL SYSTEM LOOP.
12 NEW POWER AND DATA ABOVE WORK SURFACE.
13 FLOOR DRAIN.
14 RELOCATED WATER HEATER. PROVIDE NEW POWER AND WATER CONNECTION.
15 PROVIDE EXHAUST FAN WITH 10-20 AIR EXCHANGES/HOUR IN CAT QUARANTINE ROOM.
16 ELECTRIC SERVICE TO BE RELOCATED.
17 ALTERNATE BID: PREPLACE EXHAUST SYSTEM WITH NEW HVAC SYSTEM PROVIDING 10-20 AIR EXCHANGES/HOUR & MAINTAIN 30%-70% RELATIVE HUMIDITY AND MINIMUM 60 DEGREE TEMPERATURE.
18 PROVIDE WEATHER-PROOF OUTLET.
19 PROVIDE LED WALL PACK.
20 PROVIDE ELECTRICAL DUPLEX OUTLET.

FLOOR PLAN CONSTRUCTION NOTES

A1 NEW 8X8 PRECAST CONCRETE LINTEL W/ (4) #4'S. 6" MIN. BEARING. B/LINTEL @ 7'4"
A2 NEW ADA WATER COOLER WITH BOTTLE FILLER STATION.
A3 NEW 42" COUNTER WITH 36" HIGH X 36" LONG ADA COMPONENT.
A4 RELOCATED PORTABLE CAT KENNEL.
A5 FUTURE PORTABLE CAT KENNEL.
A6 RELOCATED QUARANTINE CAT KENNEL.
A7 NEW 30" HIGH WORK SURFACE.
A8 NEW DOOR TO EXISTING KENNELS.
A9 HEAVY DUTY METAL SHELVING ANCHORED TO FLOOR AND WALL.
A10 6'-0" HIGH VINYL COATED FENCING W/ 3'0" GATE.
A11 CONTRACTOR TO REMOVE BASE CABINET & INSTALL NEW OWNER PROVIDED DISHWASHER.
A12 REPAINT EXISTING AREA.
A14 TUCK POINT EXISTING CMU WHEREVER CRACKED.
A16 INFILL WALL W/ CMU TO MATCH EXISTING.
A17 EXISTING CLEANOUT. EXTEND EXISTING CLEANOUT TO BE FLUSH WITH NEW SLAB.
A18 NEW PLASTIC LAMINATE COUNTER. 42"L X 20"D @ 42" W/ 4" BACKSPLASH & SIDE SPLASH.
A20 RELOCATED MOP SINK.
A21 PROVIDE R-38 BLOWN IN CELLULOSE INSULATION IN ATTIC.
A22 4"x8" PRECAST LINTEL W/ (1) #4 TOP & BOTTOM W/ MIN. 6" BEARING. B/LINTEL @ 7'4".



MAGNETIC PLAN

1 FLOOR PLAN - FIRST FLOOR

A200 SCALE: 3/16" = 1'-0"

FLOOR PLAN GENERAL NOTES:

1. REFER TO APPLICABLE DESIGN/BUILD ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
2. SEE A900 FOR EQUIPMENT AND FURNITURE GRAYED OUT ON THIS PLAN.

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ARCHITECT

EMMA ADKISSON REGISTERED No. 7610 COMMONWEALTH OF KENTUCKY ARCHITECT

CAMPBELL COUNTY ANIMAL SHELTER

1989 POPLAR RIDGE ROAD
MELBOURNE, KY

NO.	DESCRIPTION	DATE
1	PERMIT SET	10/26/2022

FIRST FLOOR PLAN

21-106

A100

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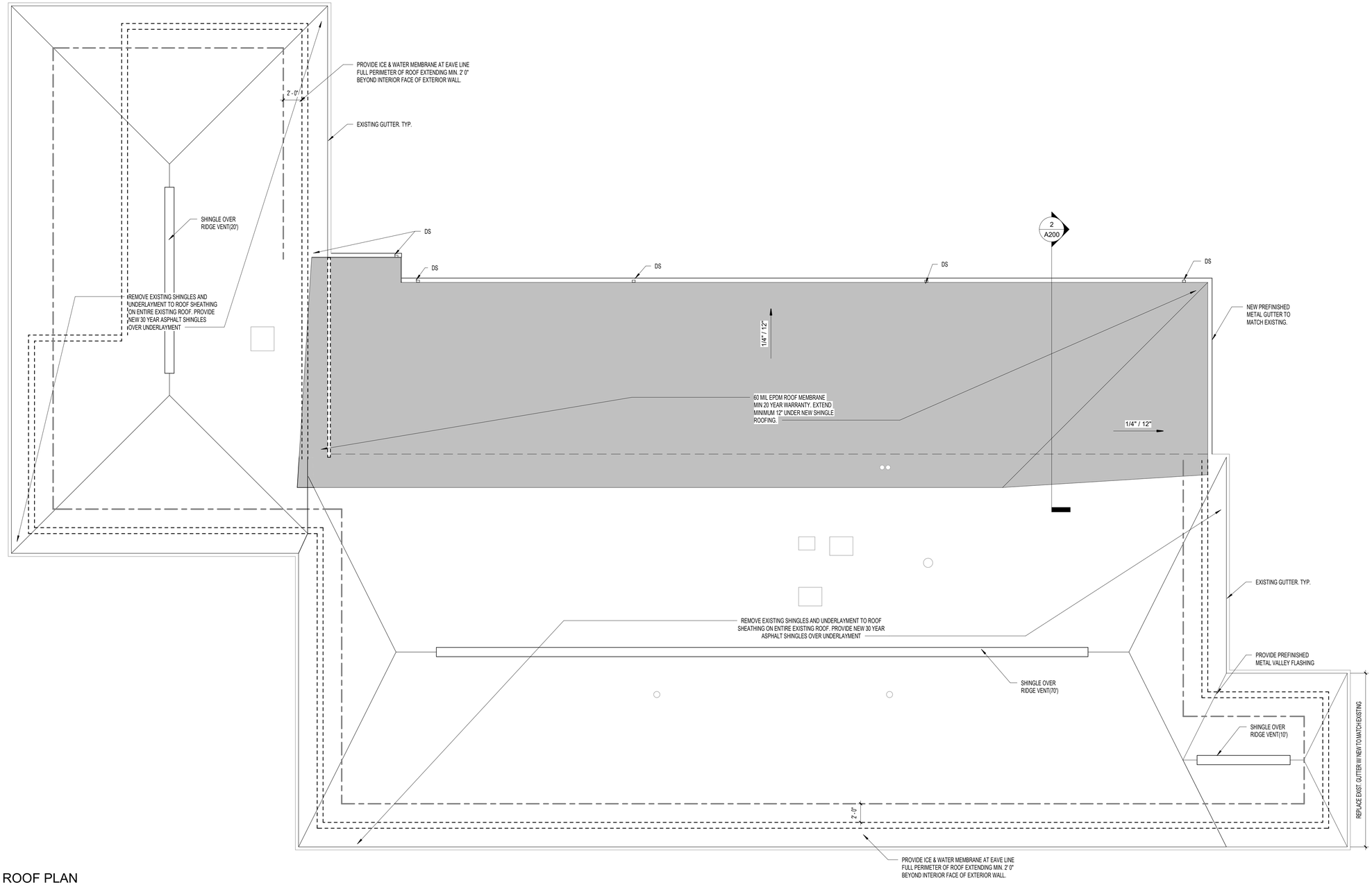
GENERAL ROOF NOTES

1. NEW PREFINISHED METAL DOWNSPOUTS TO MATCH EXISTING - DISCHARGE TO GRADE.
2. FIELD VERIFY LOCATION AND QUANTITY OF EXISTING VENTS, & DUCTS/ HOOD PENETRATIONS THROUGH ROOF



1 ROOF PLAN

SCALE: 3/16" = 1'-0"

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CAMPBELL COUNTY ANIMAL SHELTER

1989 POPLAR RIDGE ROAD
MELBOURNE, KY

NO.	DESCRIPTION	DATE
1	PERMIT SET	10/26/2022

ROOF PLAN

21-106

A101

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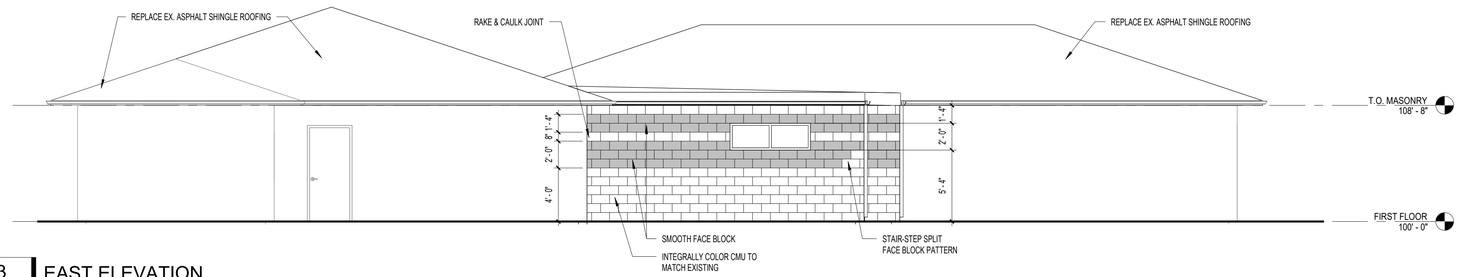
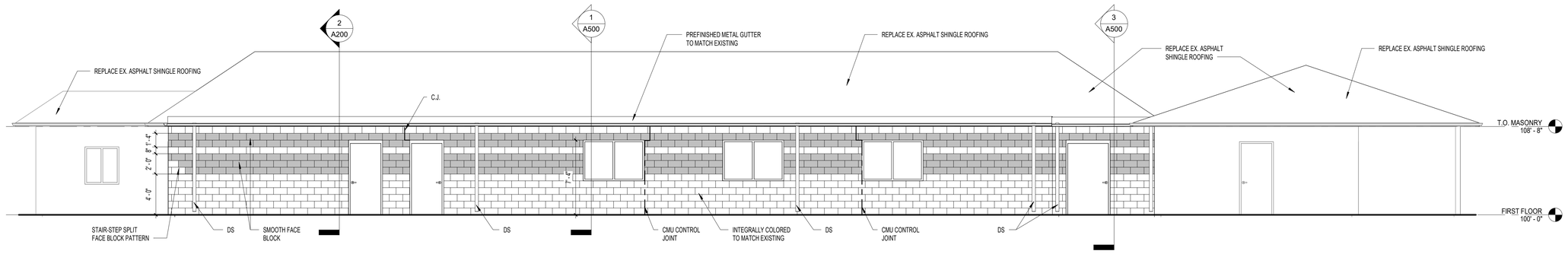


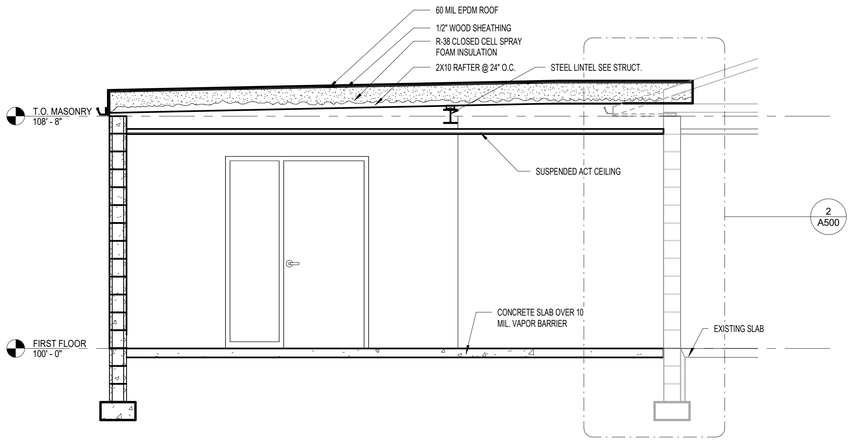
3 EAST ELEVATION

SCALE: 3/16" = 1'-0"



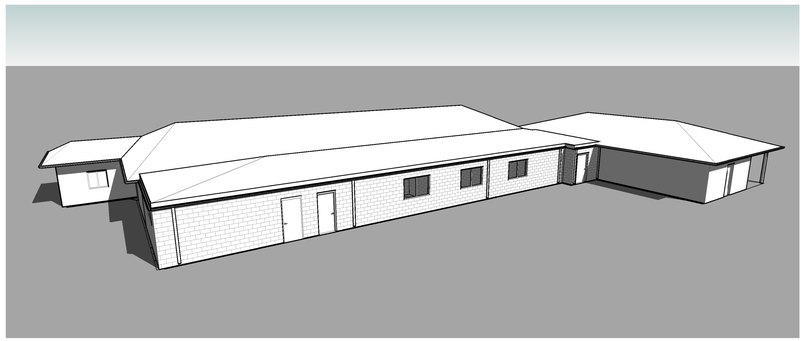
1 NORTH ELEVATION

SCALE: 3/16" = 1'-0"



2 BUILDING SECTION

A100 SCALE: 3/8" = 1'-0"



5 EXTERIOR VIEW 1

SCALE:

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No. 7610
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CAMPBELL COUNTY ANIMAL SHELTER

1989 POPLAR RIDGE ROAD
MELBOURNE, KY

NO.	DESCRIPTION	DATE
1	PERMIT SET	10/26/2022

EXTERIOR ELEVATIONS

21-106

A200

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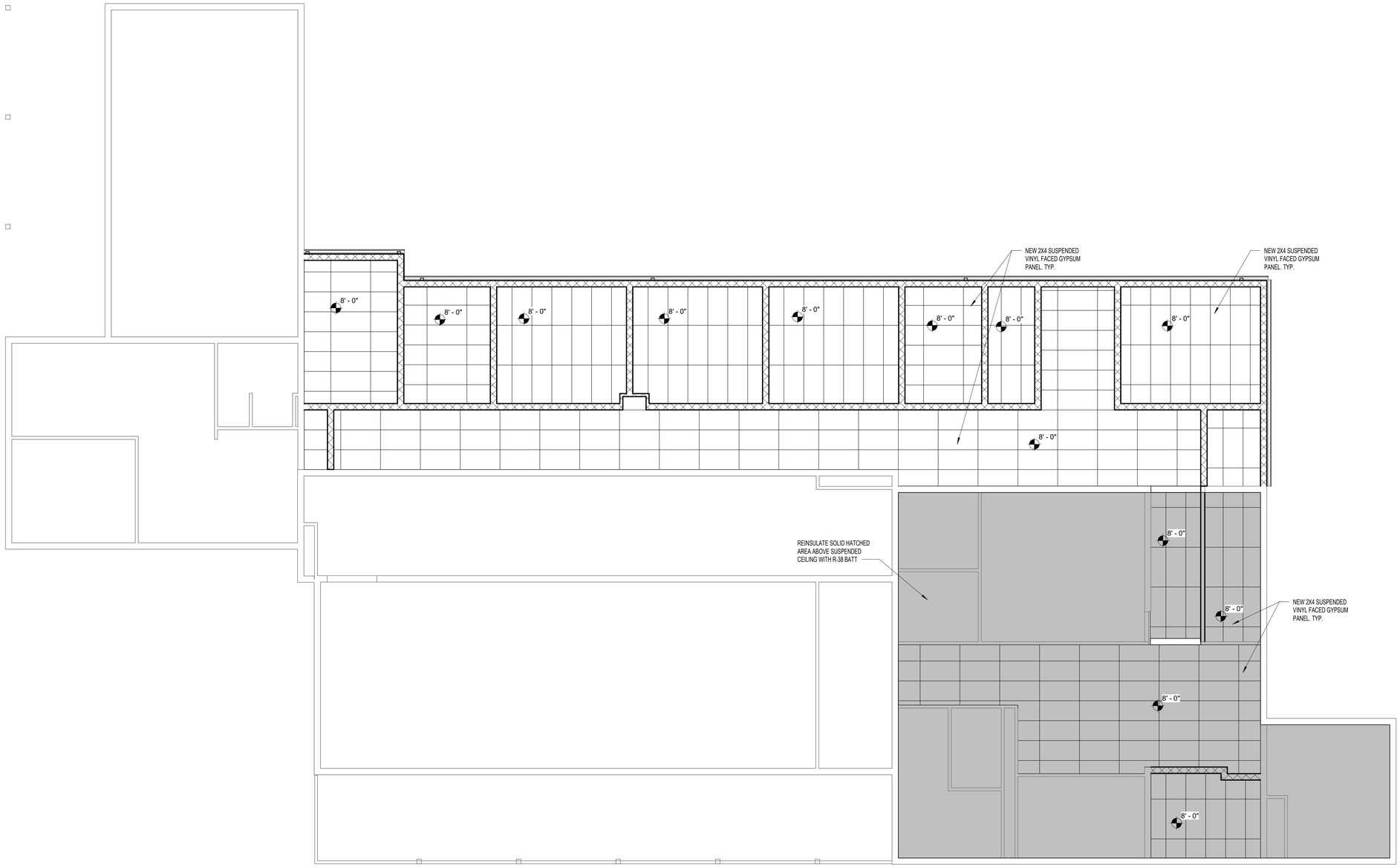

1 REFLECTED CEILING PLAN - FIRST FLOOR

A200 SCALE: 3/16" = 1'-0"

CEILING PLAN GENERAL NOTES:

1. CENTER CEILING GRID IN SPACE UNLESS NOTED OTHERWISE.
2. SEE APPLICABLE DESIGN/BUILD ENGINEERING DRAWINGS FOR ADDITIONAL CEILING MOUNTED DEVICE INFORMATION.

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1989 POPLAR RIDGE ROAD
MELBOURNE, KY

NO.	DESCRIPTION	DATE
1	PERMIT SET	10/26/2022

REFLECTED CEILING PLAN

21-106

A400

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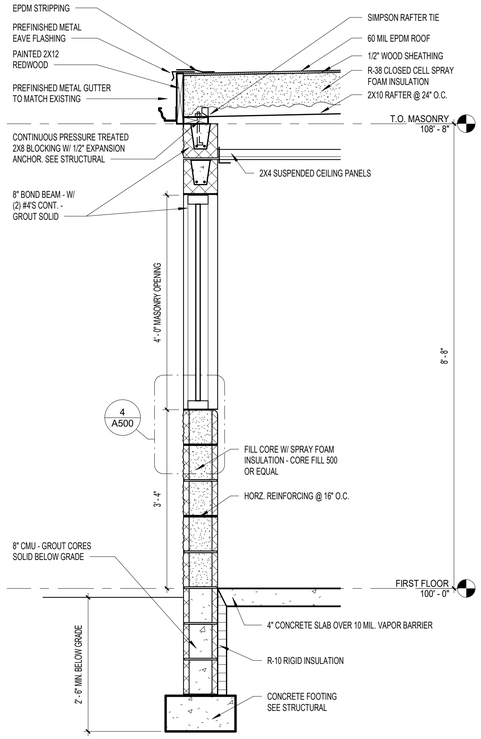
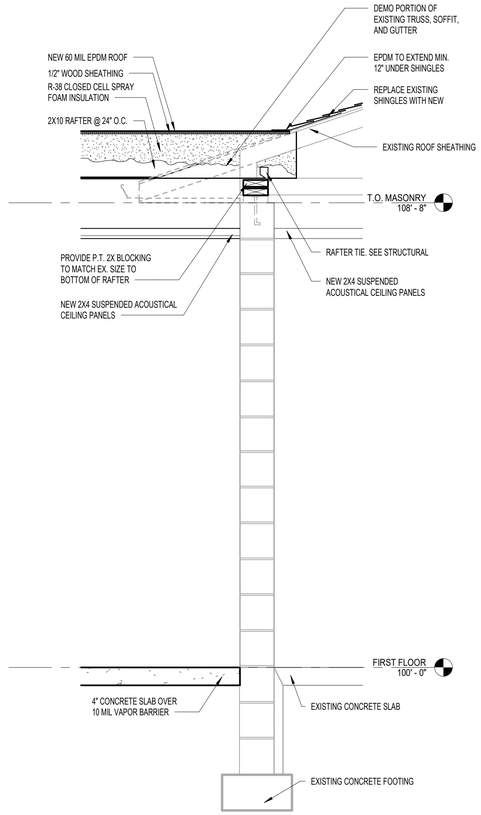


1 WALL SECTION
A100 SCALE: 3/4" = 1'-0"



2 WALL SECTION
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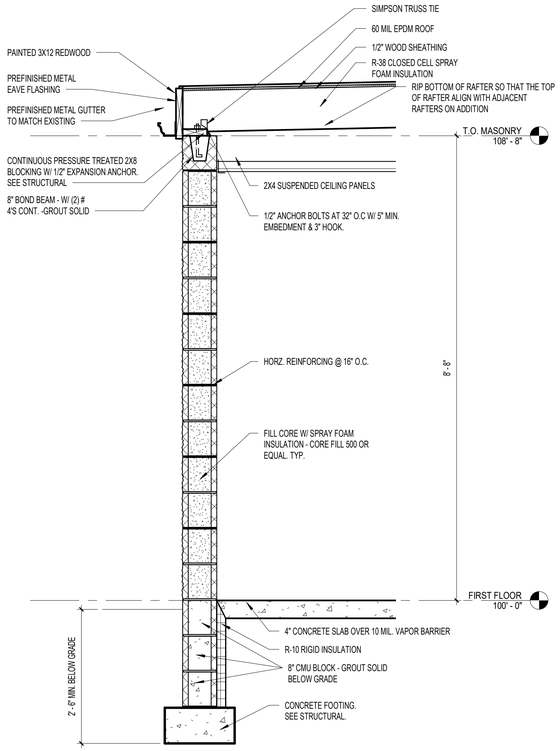

3 WALL SECTION
A100 SCALE: 3/4" = 1'-0"

4 SILL DETAIL
A500 SCALE: 1 1/2" = 1'-0"

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CAMPBELL COUNTY ANIMAL SHELTER

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MELBOURNE, KY

NO.	DESCRIPTION	DATE
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WALL SECTIONS

21-106

A500

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ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALL	CEILING	REMARKS
100	LOBBY	F1	B1	W1	C1	
101	EXISTING TNR ROOM	f1	B1	W1	-	
102	OFFICE	F1	B1	W1	C1	
103	EXISTING OFFICE	F1	B1	W1	-	
109	CORR	F1	B1	W1	C1	
110	STORAGE	F1	B1	W1	C1	
117	VESTIBULE	F1	B1	W1	C1	
118	CORRIDOR	F1	B1	W1	C1	
119	LAUNDRY	F1	B1	W1	C1	
120	MEET & GREET RM	F1	-	W1/W2	C1	
121	MEET & GREET RM	F1	-	W1/W2	C1	
122	MEET & GREET RM	F1	-	W1/W2	C1	
123	MECH	F1	B1	W1	C1	
124	NIGHT HOLD	F1	-	W1/W2	C1	
125	CAT ROOM	F1	-	W1/W2	C1	
126	CAT QUARANTINE	F1	-	W1/W2	C1	

FINISH LEGEND

FLOOR:
F1 SEALED CONCRETE - SEAL GREEN
KENNEL CONCRETE SEALER.

BASE:
B1 4" HIGH RESILIENT BASE

WALL:
W1 PAINTED CMU
W2 CERAMIC TILE 4'-0" UP WALL

CEILING:
C1 2X4 ACT VINYL FINISH

DOOR AND FRAME SCHEDULE

MARK	DOOR ELEV.	DOOR # OF LEAFS	DOOR WIDTH	DOOR HEIGHT	DOOR THK	DOOR MATL	DOOR FINISH	FRAME TYPE	FRAME MATL	FRAME FINISH	SIDELITE WIDTH	HDWR SET	NOTES
102	D3	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F2	HM	PT	1' - 10"	2	
110	D3	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		4	
111	D3	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		6	
117A	D3	1	4' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		3	
117B	D3	1	4' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		6	
118A	D3	2	2' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		7	
118B	D3	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		3	
119	D3	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		1	
120	D1	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		1	
121	D1	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		1	
122	D1	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		1	
123	D3	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		4	
124A	D2	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		1	
124B	D3	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		5	
125	D3	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F2	HM	PT	1' - 10"	1	
126	D3	1	3' - 0"	7' - 0"	1 3/4"	HM	PT	F1	HM	PT		1	

HARDWARE SETS

SET 1
HINGES
PASSAGE SET
WALL STOP

SET 2
HINGES
OFFICE LOCKSET
WALL STOP

SET 3
HINGES
ENTRANCE LOCKSET
THRESHOLD
SWEEP
CLOSER
WEATHER STRIPPING

SET 4
HINGES
STOREROOM LOCKSET
WALL STOP

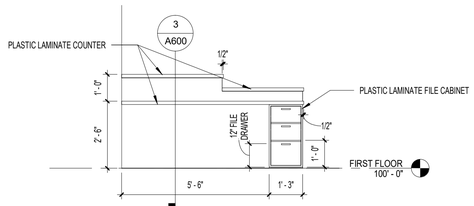
SET 5
HINGES
ENTRANCE LOCKSET
THRESHOLD
SWEEP
CLOSER
WEATHER STRIPPING
PROGRAMMABLE LOCK W/ CODES.
COORDINATE SYSTEM WITH OWNER.

SET 6
HINGES
PASSAGE SET
CLOSER
WALL STOP

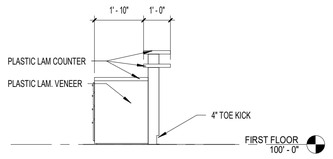
SET 7
HINGES
PASSAGE SET W/ TOP FLUSH BOLT &
DUMMY HANDLE ON INACTIVE LEAF
CLOSER
WALL STOP

DOOR SCHEDULE GENERAL NOTES

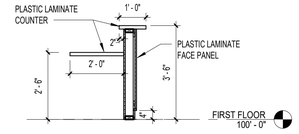
A. ALL DOORS SHALL BE MADE READILY OPERABLE FROM SIDE WHICH EGRESS IS TO BE MADE WITHOUT A KEY OR SPECIAL KNOWLEDGE
B. ALL LATCHSETS AND LOCKSETS SHALL HAVE ADA COMPLIANT LEVER HANDLES
C. PROVIDE WALL MOUNTED STOPS WHENEVER POSSIBLE.
D. HOLLOW METAL DOORS TO BE INSULATED & GALVANIZED AT EXTERIOR LOCATIONS
E. HOLLOW METAL FRAMES TO BE GALVANIZED AT EXTERIOR LOCATIONS



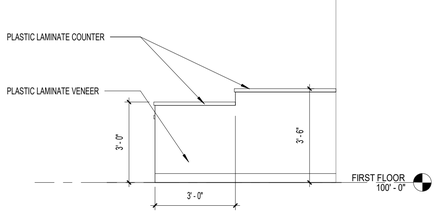
1 | A100 — LOBBY DESK BACK ELEVATION
SCALE: 3/8" = 1'-0"



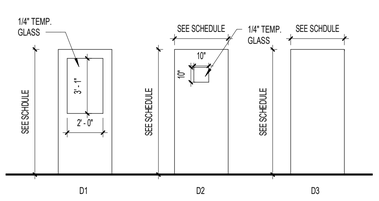
2 | A100 — LOBBY DESK SIDE ELEVATION
SCALE: 3/8" = 1'-0"



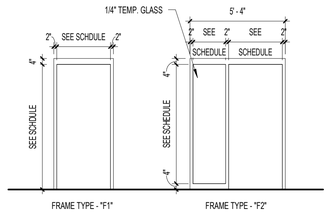
3 | A600 — LOBBY DESK SECTION
SCALE: 3/8" = 1'-0"



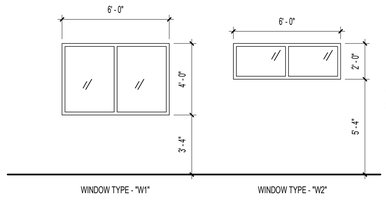
4 | A100 — LOBBY DESK FRONT ELEVATION
SCALE: 3/8" = 1'-0"



6 | DOOR TYPES
SCALE: 1/4" = 1'-0"



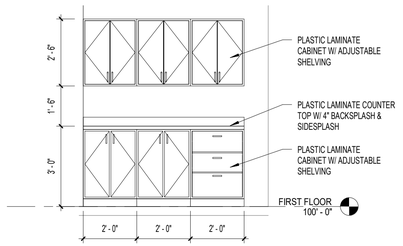
7 | FRAME TYPES
SCALE: 1/4" = 1'-0"



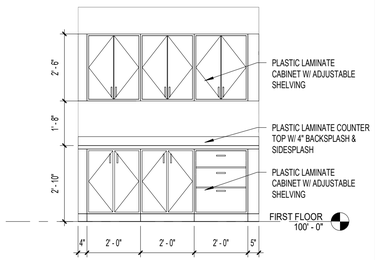
WINDOW SCHEDULE GENERAL NOTES

1. FIXED PREFINISHED ALUMINUM STOREFRONT W/ 1" INSULATED LOW-E GLASS. FRAME COLOR TO MATCH EXISTING.

8 | WINDOW TYPES
SCALE: 1/4" = 1'-0"



5 | A100 — WORK SURFACE IN LOBBY
SCALE: 3/8" = 1'-0"



9 | A100 — CASEWORK ELEVATION
SCALE: 3/8" = 1'-0"

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No. 7610
COMMONWEALTH OF KENTUCKY
ARCHITECT

CAMPBELL COUNTY ANIMAL SHELTER

1989 POPLAR RIDGE ROAD
MELBOURNE, KY

NO.	DESCRIPTION	DATE
1	PERMIT SET	10/26/2022

DOOR & ROOM SCHEDULES & MILWORK ELEVATIONS

21-106

A600

PRINT DATE: 10/26/2022 3:55:59 PM